



# HERITAGE CONSERVATION DISTRICT PLAN

TOWN OF ST. MARYS

MARCH 2012

REVISED FROM REPORT  
DATED JULY 2009

FINAL REPORT  
— MARCH 20, 2012

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St. Marys is a picturesque Town in rural southwestern Ontario. Situated where Trout Creek meets the Thames River, St. Marys has retained a great deal of its original character. Historic value is derived from its natural setting in the river valley, the quality and quantity of historic architecture and the story it tells about the historic development of the Town. These features are prominent in the number of buildings constructed from local limestone, the intact ‘mainstreet’ landmark buildings in the district such as the Town Hall and Library and feature landmarks such as the historic bridges and Water Tower. It is not only the individual contribution of these elements but the way these elements combine to form distinct public streetscapes and private landscapes that is of significance and worth preserving.

Recognizing the need for future growth and development as a catalyst for the continued economic prosperity of the Town, the Town of St. Marys Heritage Conservation District Plan was commissioned in late 2005 by the Town of St. Marys in cooperation with St. Marys Heritage Committee. In late 2006,

Phase I—the Heritage Conservation District (HCD) Study, was completed by Commonwealth Historic Resource Management Ltd. of Perth, Ontario. Following public consultation, this report documented the history of St. Marys; examined the physical, architectural and cultural character; and importantly established that a heritage conservation district was warranted. The study also proposed a boundary for the District.

In late 2007, Town Design Collaborative was retained to undertake Phase II—the Heritage Conservation District (HCD) Plan and Guidelines. At this time, the Steering Committee was expanded to include representation from the Town Staff, Town Council, a business owner in the study area, a member of the Business Improvement Area and a property owner residing in the study area.

Both reports, the HCD Study and Plan are complementary, and should be considered as a whole when interpreting this Plan.<sup>1</sup>

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<sup>1</sup> The Commonwealth report is available at the Clerk’s Office in the Town Hall, the office of the Chief Building Official at the Municipal Operations Centre and at the St. Marys Museum.

## 1.1 What is a Heritage Conservation District?

A Heritage Conservation District (HCD) offers a way to protect valuable architectural and historic resources in a community. The district is a collection of buildings, streets, landscapes and open spaces that are collectively significant to a community. A heritage district is a place of special character that is distinguishable from other areas of a community. It can comprise an entire municipality or part of the community, and it may include all forms of land use that “*contribute to a cohesive sense of time or place*”.<sup>2</sup> The district is derived from the overall quality of the architecture, the history and pattern of development, the aesthetic value of the streetscape and the potential impact of future growth on this resource. At the time of this study, the Province of Ontario has 104 Heritage Conservation Districts that have been designated in both large and small, and rural and urban communities; 19 more districts are in the planning stage or awaiting approval.<sup>3</sup>

More specifically, a heritage district is an area that has a concentration of historic buildings or features that may be of significance individually, collectively, or because of the association with persons of influence. According to the Province of Ontario, an HCD may include areas with:

- A high concentration of heritage buildings, sites, structures with a shared history;
- A framework of natural features such as land form, landscape, or watercourses and built form such as pathways, street patterns, landmarks etc;
- A sense of visual coherence as a result of building scale, mass, height, proportion, materials colours etc.

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<sup>2</sup> Province of Ontario, Heritage Conservation Districts: A Guide to District Designation under the Ontario Heritage Act.

<sup>3</sup> See Ontario’s Ministry of Culture’s website, ‘Current List of Ontario’s Heritage Conservation Districts,

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<[www.culture.gov.on.ca/english/heritage/conservation/conservation\\_list.htm](http://www.culture.gov.on.ca/english/heritage/conservation/conservation_list.htm)>.

## 1.1 What is a Heritage Conservation District?

- A distinctiveness which enables the district to be recognized and distinguishable from its surroundings or neighbouring areas.<sup>4</sup>

Municipalities choose to designate heritage districts because designation:

*“allows the Council of a municipality to manage and guide future change in the district through the adoption of a District Plan and guidelines for conservation, protection and enhancement of the area’s special character... What each community thinks appropriate to its heritage will vary, but the key to its protection is to understand the distinction of a place or area in its larger context”<sup>5</sup>.*

It is important to remember that it is **NOT** the purpose of a Heritage Conservation District to prohibit future growth and change, **BUT** to provide guidance for change so that it contributes to the architectural and historic character of the area.

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<sup>4</sup> Province of Ontario, pp. 9-10

<sup>5</sup> Province of Ontario, p.5.

## 1.2 Policy Provisions

The designation of a Heritage Conservation District offers long term protection to areas that have important and/or identifiable historic and architectural resources. The ability to designate heritage conservation districts is provided under Part V of the *Ontario Heritage Act, R.S.O., 1980, c.337 (as amended)* in the Province of Ontario, as well as the 2005 Provincial Policy Statement. The Official Plan of the Town of St. Marys provides further guidance regarding heritage district evaluation and designation.

The Ontario Heritage Act regulates the protection of Heritage Resources in the Province of Ontario. Part V of the Act allows a Municipality to designate one or more Heritage Conservation Districts.

The 2005 Provincial Policy Statement for the Province of Ontario provides policy direction for municipalities under Part V, Sections 2.6.1 and 2.6.3:

*“Significant built heritage resources and significant cultural heritage landscapes shall be conserved”.*

*“Development and site alteration may be permitted in adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved”.*<sup>6</sup>

In addition, the Official Plan of the Town of St. Marys (2007) anticipates conservation of heritage resources under section 2.3.

*“Council recognizes that many of the buildings and streetscapes in the Town of St. Marys are of special architectural and historic significance. As such they are considered to be worthy of conservation in order to maintain the attractive aesthetic and heritage character of the Town.”*

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<sup>6</sup> Province of Ontario Heritage, Conservation Districts: A Guide to District Designation under the Ontario Heritage Act: Ontario Heritage Tool Kit, 2006.



**1.2 Policy Provisions**

2.3.2.4 *“In considering development applications, Council will attempt to protect the cultural heritage resources in its context by promoting the redevelopment of designated historical properties with uses compatible with the historical or architectural character of the structure(s) or natural features on the property. Where this is not feasible, Council will attempt to protect important aspects of the cultural heritage resources, or where this is not feasible; will encourage the re-creation of the cultural heritage resources”.*

3.2.2.7 b) *“When reviewing development or redevelopment of land for commercial purposes, Council shall ensure that the proposal is compatible with adjacent buildings and in keeping with the character of the core in terms of size, height, massing and architecture...”*

Specifically, policies 2.3.2.6 c) and d) anticipate the designation of a Heritage Conservation District:

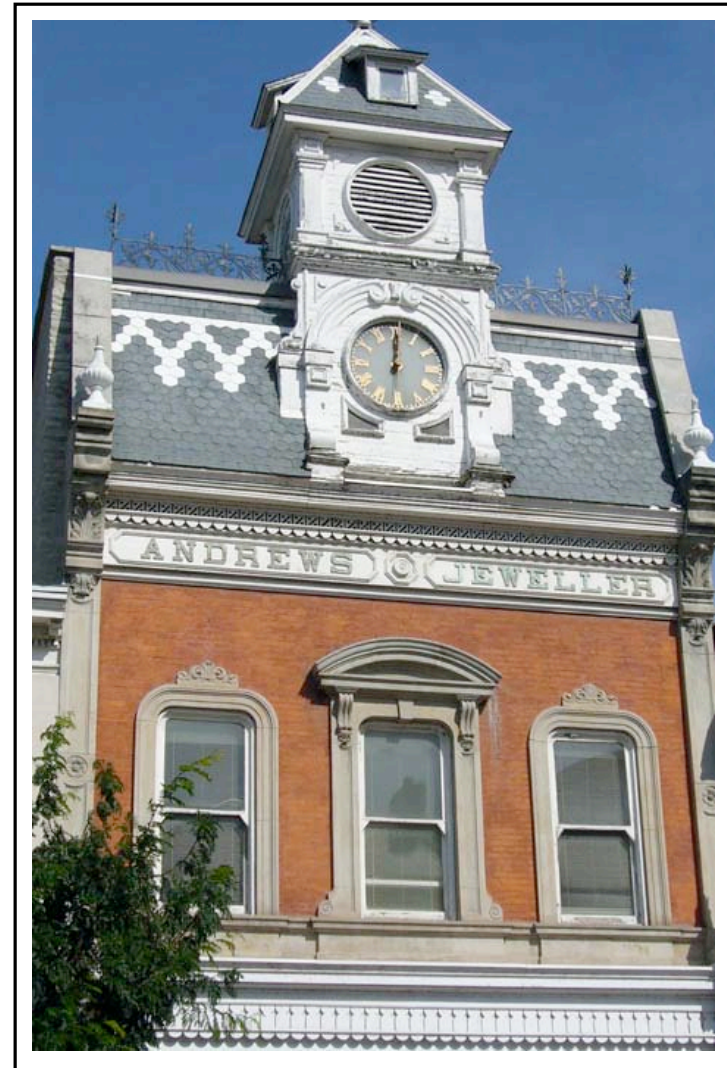
- c) *“give consideration to the preparation of a Heritage Conservation District Plan for the area or areas which will include design guidelines for both existing buildings and new construction”.*
- d) *“give consideration to designating a portion or portions of the [T]own as identified in Heritage Conservation District Plan(s), as Heritage Conservation Districts under Part V of the Ontario Heritage Act”.*

# 1. Introduction

## 1.3 Purpose

The purpose of the St. Marys HCD Plan is to acknowledge the important contribution of heritage buildings, landmarks and natural features of the Town of St. Marys, and to provide tools to manage future change in a way that will complement this historic character in years to come. Ultimately, the HCD designation should “contribute to the understanding and appreciation of the cultural identity of the local community”.<sup>7</sup> It is intended that this Plan will establish a framework by which the heritage attributes of the District can be protected, managed and restored as the community grows and changes over time. The guidelines will provide clear direction for residents and property owners regarding appropriate conservation, restoration and alteration activities. The guidelines are intended to be user friendly and will also assist municipal staff, Heritage St. Marys and Council in reviewing and making decisions on permit and development applications within the District.

<sup>7</sup> Province of Ontario Heritage, Conservation Districts: A Guide to District Designation under the Ontario Heritage Act: Ontario Heritage Tool Kit, 2006.



*Clock tower on the Andrews Jeweler building; a recently designated building in the downtown core*

1.4 Planning Process and Public Consultation

As background research for the Plan, Town Design Collaborative undertook the completion of an inventory of existing buildings in the study area.<sup>8</sup> The inventory was critical for developing design guidelines for the Heritage District as part of the Plan. Over 200 buildings were compiled into a searchable, electronic database that included photographs and selected information. The database includes municipal address, typology of building (institutional, residential etc.), zoning and architectural period (for selected properties) [See example in Appendix A]. The database also includes categories of heritage conservation sites (if applicable) identified on Schedule ‘D’ of St. Marys Official Plan (if applicable) [See Appendix B and p18 in this report for further description of categories].<sup>9</sup>

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<sup>8</sup> A heritage evaluation and inventory was conducted as part of Phase I—HCD Study, by Commonwealth Historic Resource Management Limited. This initial inventory was supplemented during Phase II of the project, through the development of a searchable database, complemented with photographs. Note that the study area inventoried goes beyond the boundaries of the 2010 approved heritage district.

<sup>9</sup> Categories include buildings that have been designated as well as category 1-3 for buildings that have been identified as having heritage

In February 2008, a newsletter went out to residents, tenants and property owners in the HCD district, providing an update on the process and anticipated project. It also provided notice of an Open House that was held on February 7, 2008. A series of interactive panels were displayed to provide information and obtain feedback from the public on key issues related to the development of the Plan. The primary objectives were to solicit input on the preferred Heritage District boundaries that were recommended through Phase I, to obtain people’s impression about the downtown, as well as elements or features that they view as important. This consultation was obtained through the public Open House as well as during the annual Heritage Fair held the following week. Over 50 people participated in providing feedback through both these events.

Overall, findings from the public consultation indicated a strong appreciation by participants for the historic architecture and natural features that are integral to the character of St. Marys.

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importance but have not yet been designated. Category 1 buildings have the highest importance for future designation purposes.

1.4 Planning Process and Public Consultation

There is recognition of the potential for tourism in the downtown and the need for business development. Residents identified the relationship between tourism and the on-going maintenance and heritage character of the area. Other important findings from the public consultation included:

- Unimproved back lanes were identified as ripe for improvements, as were upper-levels and some facades.
- The Town has many limestone and brick buildings and is also uniquely located in a picturesque valley.
- Unquestionably, these features (listed above) are of high value to the residents, and they will have a prominent role in shaping the community’s future vision of its heritage legacy.
- Participants in this first community consultation event clearly identified the preferred boundary option as one that encompasses the Central

Commercial District of St. Marys, along with extensions that include views to and from the downtown.<sup>10</sup>

On April 9, 2008, Town Design Collaborative met with the Downtown Merchants Association. Concerns were expressed relating to the limitations imposed on a property owner to make changes to their buildings, and ensuring that standards are not overly onerous or do not impose an unrealistic financial burden on the property owner. An overall appreciation for the value of the historic buildings as a critical resource was expressed.

A second newsletter was prepared to update residents on the next phase of the Plan. A questionnaire was distributed to stakeholders in the study area and posted on an online website that allowed feedback. While feedback to this point had been

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<sup>10</sup> A report was written summarizing the findings from the Open House. See, Town Design Collaborative, St. Marys Open House: Findings from a Public Participatory Process, February 2008. Note that subsequent public consultation after submission of the 2009 HCD Plan resulted in a reduced district boundary. See Section 2.2 for further description of review, public consultation and outcomes.

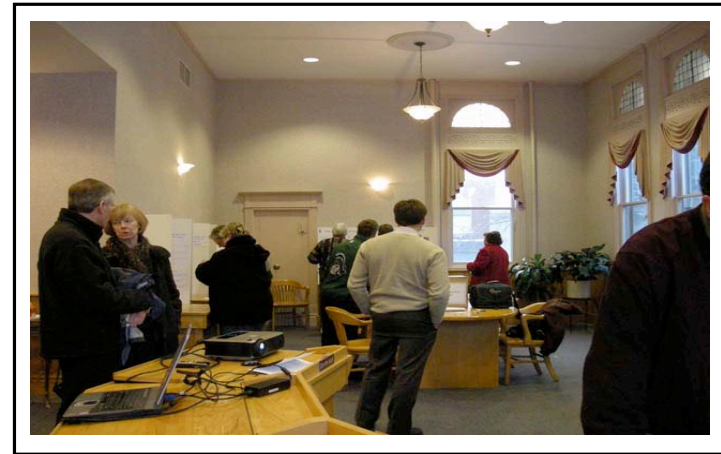
# 1. Introduction

## 1.4 Planning Process and Public Consultation

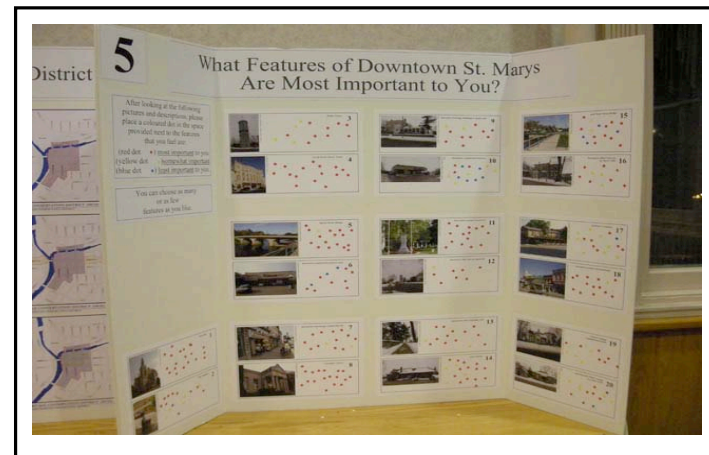
overall supportive of a Heritage Conservation District, some residents began to express concerns through the questionnaire format. The concerns generally stemmed from a lack of clear understanding about how a District will function, and overall concerns related to the loss of control over their properties and perceived increase in expense to property owners wishing to undertake renovations. In addition there were several people who expressed concern with the east-west boundary extensions along Queen Street, or the inclusion of residential areas.

As a result of the new concerns received, an additional Public Meeting was held on June 3, 2008. The purpose of this meeting was to explain the Heritage District Concept and solicit additional feedback relating to the boundary. Approximately 30 people attended the meeting. While many supported the District, other residents expressed serious concerns about loss of control of their properties, bureaucracy and costs. It was decided that the Plan and Guidelines would be prepared ensuring ample opportunity for

future public consultation. The residents generally expressed a desire to “see” a document that they can respond to directly.



Public Open House, February 2008





**1. Introduction**

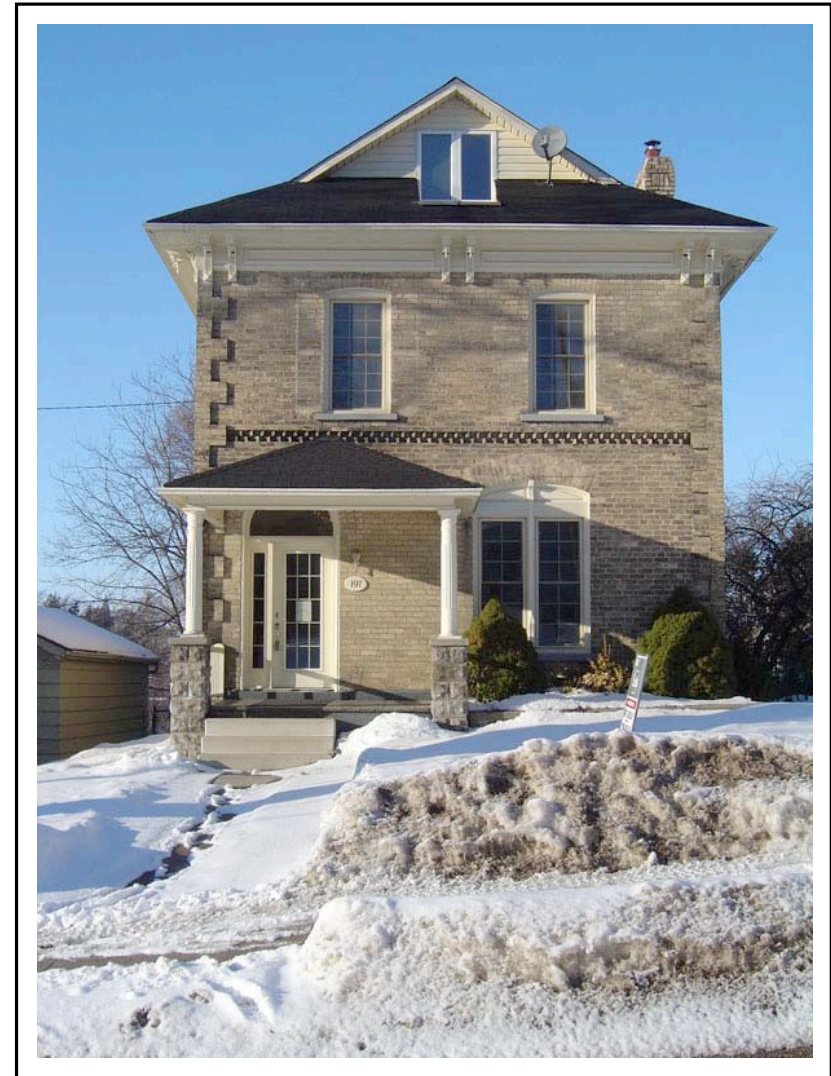
1.5 A Note on Property Values

The fear of impact on property values is a concern that has been raised consistently throughout the public consultation phase, and is a common concern associated with heritage designation. Over the years, several studies have been undertaken regarding this subject.

A study conducted by Robert Shipley of the University of Waterloo, investigated market trends over time for 2,707 designated properties in 24 communities. This included properties in 5 heritage districts. The study found that 74% of properties were average or above average in terms of price-trend when compared to similar properties that were not designated. In addition, his study found that during real-estate downturns, that designated properties resisted drops in value, and experienced rate of sale that were generally higher than average.<sup>11</sup>

Another study known as the ‘Purple Pillars’ was led by a resident who was confused by conflicting information when

<sup>11</sup> Robert Shipley, Report on Research Concerning Property Values of Designated Communities, University of Waterloo, 1998.



*Residential property with decorative brickwork on Jones St. East*

## 1.5 A Note on Property Values

his neighbourhood was confronted with heritage designation in 2003. He decided to do his own research and interviewed representatives from each one of the 27 Ontario municipalities with approved heritage districts about the impact of designation in their municipality. Although informal, the study was quite comprehensive and like Shipley’s study, also found—from asking municipalities directly—that there was no evidence that property values dropped as the result of district designation.<sup>12</sup>

Finally, a recently completed Master’s thesis (2008) supports earlier research done by Shipley and the Heritage Resources Centre at the University of Waterloo. A retrospective look at Kitchener’s First Heritage District (Upper Doon Village) found that district designation did not lower property values, but rather, “both newer and historic properties in the district

had either performed better than the market trend or performed near to the city average.”<sup>13</sup>

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<sup>12</sup> See <[www.purplepillars.com](http://www.purplepillars.com)> and Dave LeBlanc, “A Heritage Designation Turns Some Purple,” *Globe and Mail* 10 September 2004, G4.

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<sup>13</sup> Heritage Resource Centre, Upper Doon Village: A Retrospective Look at Kitchener’s First Heritage Conservation District, University of Waterloo, May 14, 2008. See as well the following Masters thesis: Marcie R. Snyder, “The Role of Heritage Conservation Districts in Achieving Community Improvement,” diss., U of Waterloo, 2008.

1.6 Organization of Plan



*Prevalent use of locally quarried limestone as a building material*

This Plan has been designed to be a user-friendly document. For overall interpretation, the Plan and associated guidelines should be read in conjunction with Phase I—the Heritage Conservation District (HCD) Study report prepared by Commonwealth Historic Resource Management Limited.<sup>14</sup>

Specifically, this report will:

- Contain the Heritage Statements required by the *Ontario Heritage Act*;
- Establish policies for the District;
- Establish guidelines for changes to properties and heritage features within the District;
- Recommend other municipal policies to support the district;
- Clearly identify when a permit will/will not be required and explain the permit process;
- Recommend systems for implementing the District Policies and Guidelines.

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<sup>14</sup> The Commonwealth report is available at the Clerk’s Office in the Town Hall, the office of the Chief Building Official at the Municipal Operations Centre and at the St. Marys Museum.



Built heritage is strong and prevalent throughout St. Marys today. Over the years, many members of the community, including elected officials and owners of heritage properties, have expressed their understanding of the importance of this resource and desire to protect it.

The primary tool to achieve policies in the Town’s Official Plan regarding heritage resources, and also to guide future growth, is through designation of a Heritage Conservation District. A District will ensure that members of the community can preserve *their* history, as reflected in built form into the future. The District Plan will provide the tools needed to protect what is important to St. Marys. It will serve as a guide for property owners, Town Council, municipal staff and the heritage committee to ensure alterations and new developments are sympathetic and do not result in irreversible modifications. When we know what is important about a place, then we also know how to care for it.

When proper management occurs, the entire municipality benefits. Potential tourism opportunities are connected to the historic charm and feel of the Town—as long as this remains intact. With a rapidly growing cultural tourism industry, St. Marys is well positioned to take advantage of people’s desire to experience history and culture through architecture and a preserved town centre.

Some of the benefits of conserving St. Marys’ heritage resources are that it:

- Fosters a strong sense of community—when we preserve our link to the past, it strengthens our sense of self, and our sense of community and enhances our ability to shape our own future;
- Is environmentally responsible—by reusing existing buildings we reduce the resources needed to build new;
- Supports our local economy—restoration projects employ local trades, and historic resources draw tourists and attract commercial activity long afterwards.

## 2. Heritage Conservation District

## The District

### 2.1 Why is the Central Commercial Area of St. Marys Important?

Developed in the late 19th and early 20th century, St. Marys is a good example of the cultural and historical development of Ontario's small-town, rural landscape. It is a historically rich community that is distinctive in its architecture and development. The combination of limestone buildings constructed from locally quarried stone, a scenic location in the river valley, a physically intact downtown, and the large number of well-preserved historic buildings, **ALL** combine to give St. Marys a distinct feel and charm.

As shown on Schedule D of the Official Plan for the Town of St. Marys (2007) [See **Appendix B**], the Town has a wealth of significant historic properties for a community of its size. There are nearly 20 buildings and structures contained within the Central Commercial Area alone that are designated under Part IV of the Ontario Heritage Act. Additionally, there are a number of buildings that Council has identified in the Official Plan as "Heritage Conservation Sites". While the sites identified as Category 1 are worthy of designation, those identified as Categories 2 and 3 are also considered "*important*

*and may be worthy of designation for reasons of architectural/historic significance but may be less important or somewhat altered from their original condition".*



*Example of a non-designated (category 1) property located in the Central Commercial Area*

Further, the Official Plan identifies the core area of the Town as a "Central Commercial Area"—"*a primary area of culture, trade and commerce within the Town*". As the primary focus for future commercial and business growth and development

## 2. Heritage Conservation District

## The District

### 2.1 Why is the Central Commercial Area of St. Marys Important?

within the Town, there will inevitably be pressure for change and redevelopment within this district. Already the Town has experienced shifts in the use of many residential buildings to commercial uses, and some redevelopment and infill. With several examples of newer development that has not respected the existing architecture or massing—the Town will need to find a way to manage future change. As the Town continues to grow and look for ways to generate employment within the community, the pressure for development could impact the character and historic integrity of this area through incompatible use, building modification, intensification or redevelopment. This increases the importance of the Heritage Conservation District Designation for preserving and guiding change in this area over time.



*Example of commercial infill (picture above) and residential conversion (picture below) in the Heritage District*



### 2.2 District Boundary

The district boundary for St. Marys Heritage Conservation District is shown highlighted in red on the following map [page 23]. Trout Creek and the Thames River form natural boundaries to the north and west, respectively. The district boundary to the east extends down the west side of Peel St., extending south as far as Elgin St. The southern boundary of the district extends down the north side of Elgin St. from Peel St. to the Thames River. Note that properties on the eastern side of Peel St. and southern side of Elgin St. are not included in the District. Note as well, that the boundary extends south along the Thames River and integrates the main streets found along Queen and Water Streets. Also included are the millrace at the east side of the Thames River, north of the Queen Street Bridge, and the tailrace south of the bridge.

#### *Background to Revised District Boundary*

The district boundary indicated in the original 2009 Plan was based on a recommendation by Commonwealth Historic Resource Management Ltd. upon the completion of their

Heritage Conservation District Study 2006.<sup>15</sup> [See boundary on page 23 shown dashed]. Commonwealth's recommendation was based on community research and heritage expertise, direction from Heritage Committee members and a public meeting held on December 8, 2005 that indicated support for an extended heritage district beyond the boundaries of the central commercial zone. Their recommended "Option 1 Expanded" included "wings" to the east and west to capture visually significant vistas to/from the downtown, areas of significant redevelopment activity (conversions from residential to commercial uses), as well as landmark buildings such as the Water Tower and Via Rail Station.<sup>16</sup>

When Town Design Collaborative (TDC) was subsequently retained in 2007, results from an Open House in February 2008 once again indicated supported for an expanded heritage

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<sup>15</sup> The Commonwealth report is available at the Clerk's Office in the Town Hall, the office of the Chief Building Official at the Municipal Operations Centre and at the St. Marys Museum.

<sup>16</sup> Commonwealth, pp. 28-38.

2.2 District Boundary

district (based on Commonwealth’s recommendation). Results from TDC’s online questionnaire did indicate that there were some concerns regarding the extended “wings” of the proposed district. However, at a Public Meeting held in June 2008, questions and discussion focused on concerns regarding property rights, the permit process and costs; not explicitly district boundaries. With direction from Heritage St. Marys, TDC completed the Heritage District Plan based on Commonwealth’s “Option 1 Expanded” district boundaries.

Upon submission of the final HCD Plan in July 2009, Heritage St. Marys assisted the Town in meeting the regulatory planning processes leading up to the adoption of by-law 32-2010 in June 2010 (to establish a Heritage Conservation District in St. Marys).<sup>17</sup> This included: 1) holding a public information meeting in November 2009, and 2) advertising (i.e. public notice), setting up and facilitating the statutory public meeting in April 2010, prior to by-law adoption. One

<sup>17</sup> A brief titled, “Timeline in the Heritage Conservation District Process, St. Marys” is available at the St. Marys Museum.

outcome from the April public meeting was revisions to the heritage district boundaries outlined in the 2009 HCD Plan. These revisions are known as the “Galloway Option”.<sup>18</sup> In May 2009, Council held a special meeting to consider a HCD bylaw and boundary options. The Planning Advisory Committee (PAC) also held a special meeting to review the proposed HCD with the municipal planner in attendance.<sup>19</sup> On June 22, 2010, Town Council passed by-law 32-2010 creating an HCD. The boundary option chosen by Council and referred to in the by-law is shown highlighted on **page 23**.

The district area is smaller than that show in the 2009 HCD Plan, with a concentration on the downtown core; however, it still remains largely based on the Central Commercial Area identified in the Official Plan. The heritage district contains predominantly 19th and 20th century architecture, many of the Town’s historically significant institutional buildings and

<sup>18</sup> This option is reflected in the revised heritage district area shown on page 23.

<sup>19</sup> The municipal planner indicates that the HCD conforms to the Official Plan.

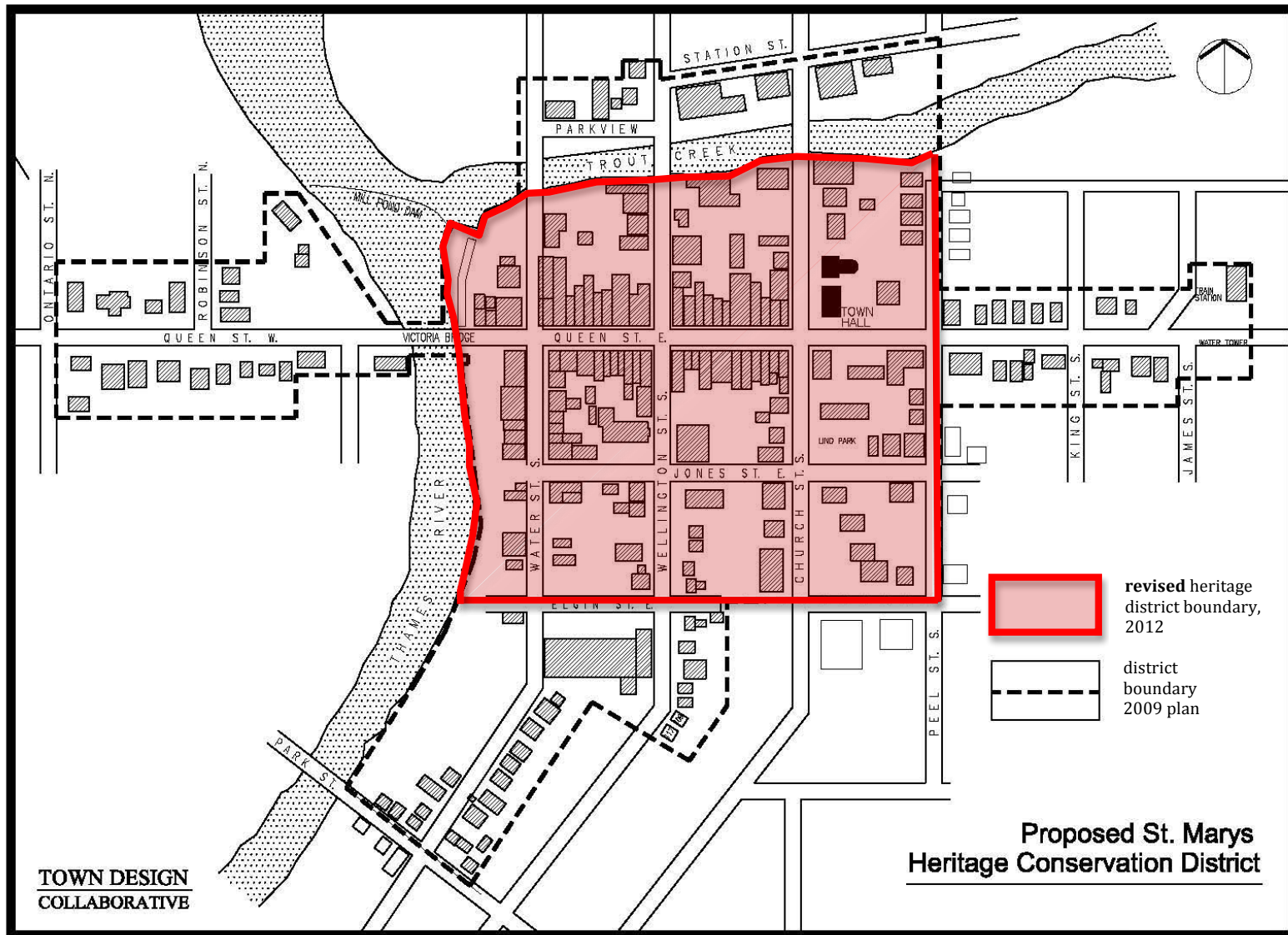
### **2.2 District Boundary**

designated properties. Defining features of the District include topography and natural boundaries, overall character of the area, architectural quality, the 19<sup>th</sup> century grid-like road pattern and historic development patterns, as well as overall compactness of the District (for ease of management).

## 2. Heritage Conservation District

## The District

### 2.2 District Boundary





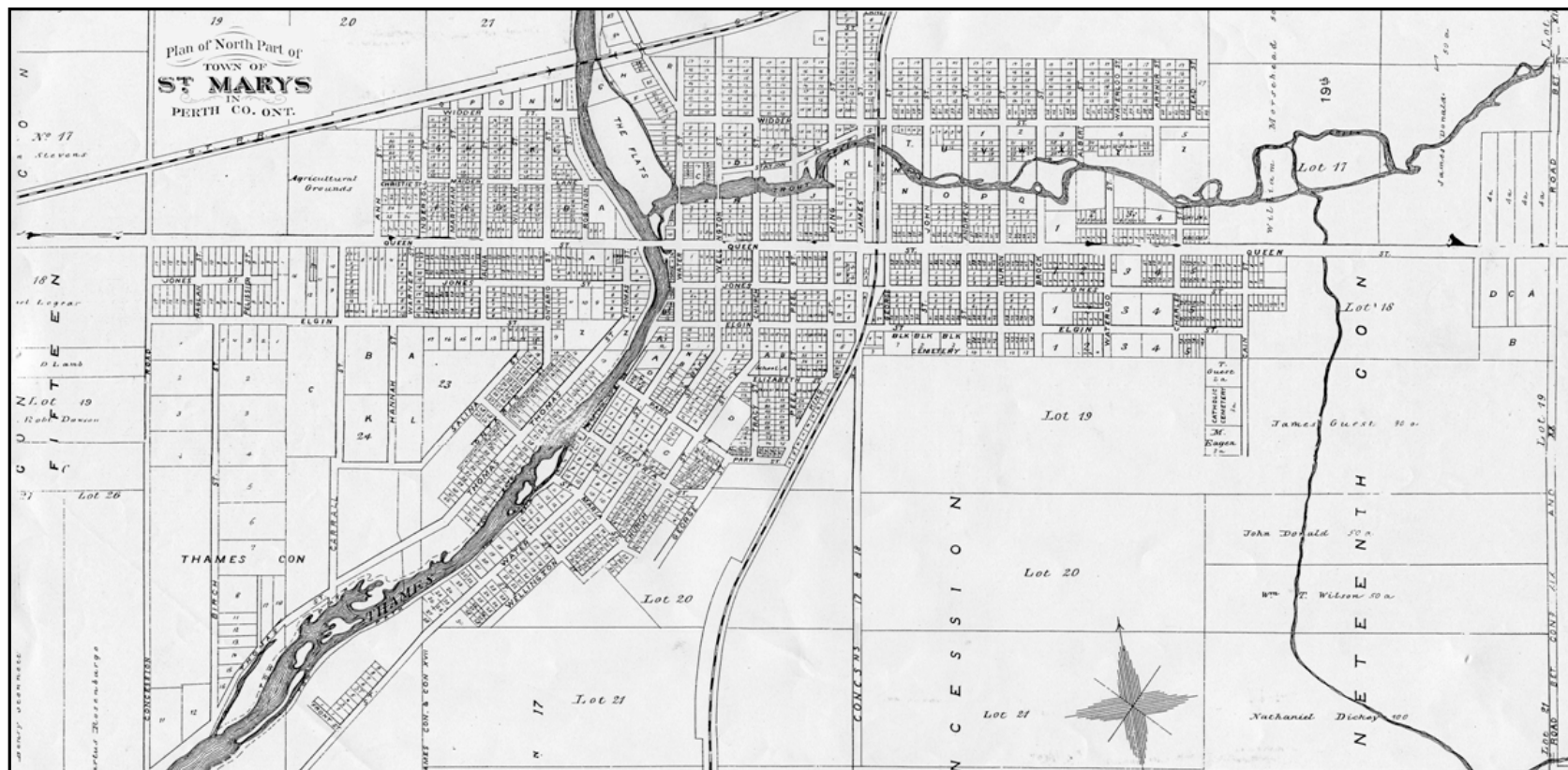
## 2. Heritage Conservation District

## The District

### 2.3 Historical Context

The heritage character of St. Marys Heritage Conservation District depicts the history of the Town's development. In 1839, the site for the Town was identified by the Canada Company as a centre to serve the surrounding agricultural area.

A large limestone outcrop provided readily available stone for construction, and the location in the river valley provided the water for mills. The first street was laid out in 1841 when Thomas Ingersoll constructed a gristmill on the west side of



Street Plan of St. Marys, 1879 (credit: Historical Atlas of Perth County, Ontario. H. Belden & Co., Toronto, 1879)



## 2. Heritage Conservation District

## The District

### 2.3 Historical Context

Water Street close to Trout Creek. In 1858, the first town plan for St. Marys was prepared, outlining a rectilinear street grid pattern centred on Queen Street, the principal thoroughfare. The limits of the Town were formalized in 1854 when the municipality was incorporated. The Town limits have been largely maintained since that time and subsequent development has occurred within the 1854 boundary.

St. Marys quickly became a centre for milling, grain trading and the manufacture of agriculture-related products. The railway connected the Town with the rest of the world in 1859, and framed the local landscape; its two large trestle bridges on limestone pillars still stand as landmarks of the Town today.

The limits of the primary commercial area have changed little from early days, making the downtown an important marker in the history of St. Marys' development. The use of limestone and later brick in a variety of architectural styles illustrate the history of the Town's development from the early 19<sup>th</sup> through to the 20th century. The consistent building heights, pedestrian

scale, massing and setbacks along the principal commercial streets give the Town a distinctive feel and establish a coherent and cohesive appearance to the downtown.

Further specific design features in the downtown are the axial vistas along the streets to the brow of the valley where the unique community landmarks such as the Water Tower and church steeples are located. Five bridges span the Thames and



*Axial vista looking west on Queen Street, ca.1920 (credit: St. Marys Museum)*

## 2. Heritage Conservation District

## The District

### 2.3 Historical Context

Trout Creek, as well as the two high-level railway bridges; all are predominant features of the Town. They are distinctive in both the materials from which they are constructed and their significance to the historic development of the Town. As well, they provide a series of important and intentional viewpoints of the Town and surrounding agricultural lands.

The ongoing development of St. Marys, up until the 1920s, largely maintained the scale and character of the area. A number of buildings in the district are associated with people of local and regional significance who have played an important role in shaping the Town. Today, St. Marys continues to be a service and cultural centre for the surrounding agricultural region.



*Aerial photograph of St. Marys looking east showing the confluence of the Thames River and Trout Creek and the bridges spanning these waterways, 1919 (credit: St. Marys Museum)*

### 2.4 Heritage Character Statement

St. Marys, known as the *Stone Town*, is characterized by a wealth of heritage buildings, historic sites, landmarks and landscapes.<sup>20</sup> The historic context of St. Marys development and growth is deeply embedded in, and illustrated by, its street patterns and limestone architecture that remain today.

The consistent use of locally quarried limestone for the construction of residential, commercial and institutional buildings, as well as retaining walls is a defining characteristic of the Town. While the use of limestone is perhaps one of the most defining features of St. Marys' architecture, the Town's surviving architectural heritage is much broader; it includes landmark and vernacular buildings in a broad range of architectural styles and variety of building materials. The high concentration of surviving 19th and early 20th century landscapes, buildings and remnants of early streetscapes are worthy of preserving. They are proof of the professional

architects, master builders, masons and tradesmen who all contributed to the development of the Town.

The quality of the heritage resources in the District is further evident in the number of buildings designated under Part IV of the Ontario Heritage Act, and the number of buildings identified in the St. Marys Official Plan as Heritage Conservation Sites (Categories 1-3) [See Appendix B].

The majority of buildings in the District date from 1855 to 1920, and include modest vernacular design in classical styles. The design of commercial and residential buildings prior to 1880 was primarily vernacular, modest wood and masonry buildings in a classic style that were designed by builders. The architectural design of buildings constructed after 1880 is more sophisticated and reflects the influence of architects, many of whom were local. Various architectural styles are represented such as Victorian, Ontario Cottage, and Italianate.

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<sup>20</sup> The foundation for the character statement is based on the Character Statement developed in the District Study completed in May 2006 by Commonwealth Historic Resource Management Ltd.

## 2. Heritage Conservation District

## The District

### 2.4 Heritage Character Statement

The core area of St. Marys [as shown on **page 23**] is worthy of designation as a district, and is significant to the Town for a number of reasons. These are the primary defining characteristics of the District.

- The downtown core lies within limits that have changed little from early days in the Town's history, and still retains the strong commercial corridor along Queen, Water and Wellington Streets.
- There is a high concentration of surviving 19th and early 20th century buildings and landmarks (e.g. Town Hall, Carnegie Library, Opera House) in the District, including some that are designated under Part IV of the Ontario Heritage Act.
- The placement of prominent homes, buildings and churches on hills overlooking the downtown core area contributes to the character and scenic quality of the District.



*Main street illustrating uniform scale and massing as well as varied architecture*

- The main streets have a coherent appearance, with consistent building heights, massing and setbacks.
- The consistent use of locally quarried limestone throughout the District defines the overall architectural character of the Town.
- The strong influence on the Town's character is owing to the professional architects, master builders, masons, and tradesmen (many of whom were local) who



## 2. Heritage Conservation District

## The District

### 2.4 Heritage Character Statement

contributed to the building and engineering works in the Town.

- There are a number of buildings in the District associated with people of local or regional significance who played an important role in shaping the Town.

Overall, the architectural character of the District is varied, telling the story of the Town’s development from the mid 19<sup>th</sup> to mid 20<sup>th</sup> century. The area has a high degree of surviving architecture dating back to the 1850s, as well as several important landmarks and remnants of early commercial streetscapes. Many of these are associated with local or regional persons of interest. Without designation, the character of the area may be threatened by future development and growth. With designation, the area can continue to serve as the principle commercial district, while preserving the valuable resources and overall character of the Town. The preservation of these resources will enhance the downtown and encourage economic growth and sustainability for the community over the long-term.



*Limestone exteriors are predominant, Queen Street West*



*One of many landmark buildings in District—Carnegie Library*

### 2.5 Key Heritage Features

Phase 1—Heritage Conservation District Study provides a detailed overview of the history of the area as well as the various characteristics and attributes of the District that contribute to its heritage character. A summary of specific features (traits, qualities) relating to these characteristics follow. The features listed here help to shape the framework for the guidelines that follow in subsequent sections of the Plan.

#### *Urban Form and Streetscape*

- Compact, mixed-use commercial core surrounded by predominantly residential areas that are characteristically less densely laid out. In many places in the District, the transition from commercial to residential areas is not always gradual.
- Throughout the District, buildings are humanly-scaled, and have a comfortable ‘feel’ for the pedestrian along the street. Commercial buildings for the most part, are 2-3 stories high, and there are many residential buildings that are 1-1 ½ storey cottages.
- Roof pitches of buildings along the commercial core corridors vary and are dispersed with commercial facades that have no visible roof-lines. This creates visual variety in the streetscape. Some roof pitches slope towards the street, which adds to the human-scale that is a characteristic of the District.
- Commercial buildings along the core corridors exhibit a horizontal rhythm of the façade that is common for 19<sup>th</sup> and early 20<sup>th</sup> century buildings of this type (i.e. 1<sup>st</sup> floor is given over to a highly elaborated storefront topped with a signage board, with less detailed 2 and 3<sup>rd</sup> stories, capped with a decorative cornice and/or roof).
- Buildings situated in the commercial core—particularly along the main corridor streets—are typically built to the street line creating a continuous streetscape.
- Building setbacks in other areas vary, and reflect the mixed commercial and residential development in the District.

### 2.5 Key Heritage Features



*Roof pitch oriented towards the street for many buildings along the main commercial corridor; see highly detailed dormer window (credit: St. Marys Heritage Committee)*

- Many individual commercial facades are architecturally part of larger cohesive commercial building ensembles; there are often several store front properties contained within one building.
- Notable landmark buildings are interspersed throughout the District, and punctuate the more uniform urban fabric.

#### *Architectural Elements*

- Many commercial storefronts are recessed along the core corridors.
- Widespread use of dormers in commercial and residential buildings.
- Enclosed entrance vestibules in many residential buildings.
- Front porches and verandahs are a prominent feature of residential buildings.

#### *Landscape*

- Because of the topography, stone retaining walls—many constructed with local limestone—are a prominent feature within the District.

## 2. Heritage Conservation District

## The District

### 2.5 Key Heritage Features



*Individual commercial storefronts part of larger architectural ensemble*

#### *Materials*

- Consistent and widespread use of limestone and brick as an exterior material in residential, commercial, and institutional buildings.
- Exterior material for many modest, vernacular residential buildings is wood.

#### *Details*

- Prevalent use of decorative wood trim in residential and commercial buildings; commonly found on porches and verandahs, entrance surrounds, windows and dormers, gable ends and cornices.
- Highly detailed cornice treatment on many commercial buildings.
- Highly detailed treatment of dormers on many commercial buildings.
- Windows in commercial and residential buildings vary in type, shape and style, but typically are oriented vertically (i.e. windows are tall and thin as opposed to long and wide), and have visual ‘depth’ to them because they are recessed into the exterior wall surface.
- Decorative brick and masonry treatment is common at building corners and surrounding windows, in both commercial and residential buildings.



### 2.6 Statement of Objectives

A number of goals and objectives have been established to provide a framework for the protection and preservation of St. Marys unique heritage features. These goals and objectives shall form the guiding principles for the municipality when referring to the Plan and associated Guidelines for managing growth and change within the District. The designation of the St. Marys Heritage Conservation District is intended to help protect and preserve the heritage assets and character that exist in the area. It is recognized that communities change over time due to economics, demographics, and social growth and that these changes may result in redevelopment, intensification or the desire for new uses within the area. Consequently, it is important to have a framework in place that recognizes the potential for change, but provides appropriate policies and guidelines to ensure that future change is both complementary to and compatible with the heritage features of the area.

Primarily, the guiding objectives for the District are:

#### *Heritage Building*

- to preserve historic buildings within the district as identified by *Official Plan Heritage Conservation Sites*.
- to ensure the character of the District and heritage landscapes remain intact.
- to preserve heritage attributes and distinguishing features of heritage buildings.
- to encourage the correction of unsympathetic alterations to heritage buildings.
- to encourage modifications, additions or alterations that are in keeping with the architectural style and period of the building.

#### *Non-Heritage Buildings*

- to retain non-heritage buildings that are sympathetic to the district character.

### 2.6 Statement of Objectives

- to ensure renovations or improvements to non-heritage buildings are sympathetic to the overall character of the district and streetscape.

#### *Streetscape*

- to encourage public works (streetlights, benches etc.) that are sympathetic to the heritage character of the area and will enhance it.
- to preserve mature trees and mature vegetation.
- to preserve the existing street pattern and scale.

#### *New Buildings/Infill*

- to ensure new development is compatible with the character of the District, paying particular attention to massing, setbacks, scale and materials.

It is the overall goal of this plan to provide guidelines and recommendations that will assist building owners and occupants when they undertake renovations or changes, to make changes that are sympathetic and that do not

permanently alter a historic building in a way that compromises its historic integrity. It is also the intent that Town Council, with the cooperation of the Building Department and the Heritage Committee, will use this Plan to encourage owners to learn more about heritage restoration and to celebrate the unique features of their properties and that they will develop tools that owners will need to become stewards of the historic resources in the Town of St. Marys.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.1 Overview

Through the establishment of guiding principles, policies, and guidelines, the act of conservation aims to ensure the retention of a community's heritage for the enjoyment of current and future generations. Specifically, the creation of a conservation district helps to preserve a part of the community as a distinctive place with a 'character' that has been identified as integral to its cultural heritage.

The term 'conservation' can generally be considered action taken to prevent decay, and to prolong the life of buildings and places. It involves maintenance, repair, restoration, alteration and sympathetic design and consideration given to new work in the form of additions and infill development.

Over many decades, a core set of conservation principles have been developed and agreed upon internationally. These general principles are a useful starting point in helping owners think about the conservation of their own heritage properties. Particularly, in situations where the policies and guidelines of this Plan do not adequately address specific issues, the

principles in **Sections 3.2 and 3.3** should be used to provide underlying direction to help guide the decision making process.<sup>21</sup>

These principles are written to help owners apply conservation wisdom. Owners are therefore encouraged to become familiar with the guiding principles and have regard for them.

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<sup>21</sup> The principles in Section 3.2 have been adapted from international charters and Canadian guides, including the International Charter for the Conservation and Restoration of Monuments and Sites (Venice Charter), the Appleton Charter for the Protection and Enhancement of the Built Environment, *Standards and Guidelines for Conservation of Historic Places in Canada*, and The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation. See the following websites:

- (Venice Charter) <[www.icomos.org/venice\\_charter.html](http://www.icomos.org/venice_charter.html)>
- (Appleton Charter) <[www.icomos.org/docs/appleton.html.en](http://www.icomos.org/docs/appleton.html.en)>,
- (Parks Canada) <[www.pc.gc.ca/docs/pc/guide/nldclpc-sgchpc/nldclpc\\_sgchpc\\_e.pdf](http://www.pc.gc.ca/docs/pc/guide/nldclpc-sgchpc/nldclpc_sgchpc_e.pdf)>, and
- Mark Fram, *Well Preserved: The Ontario Heritage Foundation's Manual of Principles and Practices for Architectural Conservation*. (Erin, ON: Boston Mills Press) 2003.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.2 General Policies

The following conservation principles lay the groundwork for the District Plan and are the basis for the policies and (more specific) guidelines contained in **Section 4**. The principles listed here are **intended to guide** applications for proposals that require heritage review, and are also **useful for the general upkeep** of buildings of historic interest. A procedural ‘strategy’—when undertaking any conservation action—is also included below.

#### *Suggested Conservation Procedures*

Property owners and occupants, together with the assistance of Town staff and advice from the St. Marys Heritage Committee, will attempt to undertake the following when anticipating significant alterations or modifications to the exterior of a property in the District.<sup>22</sup>

- With the help of St. Marys Heritage Committee and staff, research the history of the building and find any old photographs where available.
- Take an inventory of the original materials used in the building.
- Plan a work program that makes use of conservation principles where possible.
- Employ the resources of professionals/experts where the project is deemed to be significant.
- Keep records of the work that is done to the property.
- Anticipate ongoing maintenance for the building and work done to protect the owners’ investment.

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<sup>22</sup>Members of the Heritage Committee have always been available to meet and consult with property owners on repair and restoration projects and will continue to provide this service for properties in the HCD. Owners are also welcome to use materials on heritage buildings in the reference library at the St. Marys Museum.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.2 General Policies

##### *Terminology*

Not all buildings contained within the Heritage District are considered ‘heritage’ or ‘historic’ in the truest sense. However **most all** are integral to the urban fabric and support, and contribute to, the character of the district. The Heritage Conservation District Study can be used as a reference in identifying more recently constructed buildings (post 1945),<sup>23</sup> and those of lesser significance where reasonable discretion may be used in applying the specific policies and guidelines that follow [See Appendix C].<sup>24</sup>

For the following principles, policies and guidelines contained in Sections 3 and 4 of the Plan, the term **original building components** refers to heritage attributes, character-defining

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<sup>23</sup> Less than 10% of the buildings in the district were constructed after 1945. See Appendix E, Commonwealth Historic Resource Management Limited, Downtown St. Marys Heritage Conservation District Study, Final Report, May 2006. The Commonwealth report is available at the Clerk’s Office in the Town Hall, the office of the Chief Building Official at the Municipal Operations Centre and at the St. Marys Museum.

<sup>24</sup> The Town is encouraged to undertake a review of the buildings stock in the Heritage Conservation District with the specific goal of identifying buildings that are deemed to be less significant to the heritage character of the District.

elements or historic materials and distinctive features that contribute to a property’s heritage value.

The principles broadly apply to both alterations to existing structures and to any new construction/infill within the district.

##### *a) Know and maintain the building*

- Be familiar with the building and its history; identify distinctive features that define its historic character and make it special.
- Ensure ongoing maintenance of important building features (e.g. regular painting, caulking, weather proofing, re-pointing brick etc.).
- Periodic inspection and seasonal upkeep is encouraged to control and prevent future damage.

##### *b) Retain and preserve*

- Preserve what exists; original building components should be conserved and restored as much as possible.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.2 General Policies

- Original building components and details that are vulnerable to replacement should be recorded (e.g. by photographing or drawing).

##### *c) Repair rather than replace*

- Avoid removal or replacement of original building materials and elements.
- If replacement or alteration of original building components is required, every effort should be made to match the proportions and materials of the original.

##### *d) Base restoration or replacement on historical evidence*

- Restoration or replacement of original building components should be done on the basis of documented evidence (historical, pictorial and physical) of the actual feature.

##### *e) Alter as little as possible*

- Make the minimum amount of change to a building in order to retain wherever possible the original character

and related fabric; this is the principle of minimum physical intervention.

##### *f) Make changes reversible*

- Where an alteration to an existing building is planned, careful consideration should be given to ensuring that work undertaken does not preclude the possibility of return to the original state.
- Wherever possible, consideration should be given to safely storing any element of significance—unavoidably removed—so that reinstatement is possible in the future.

##### *g) Make changes compatible*

- If alterations to original building components are required, the change should be respectful of, and in keeping with, the architectural style of the building and surrounding setting (e.g. landscape, streetscape); forms, materials and finishes should relate to the original.
- Additions and new buildings should respect traditional forms and patterns so that they fit into their setting.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.2 General Policies

*h) Respect historical contributions from other periods*

- Respect the natural ageing process; acknowledge additions, alterations and treatments that have occurred since a building's construction as evidence of the passage of time.

*i) Distinguish new work from old, but complement it*

- New work should be sympathetic to the original and match when appropriate, but should not intentionally be designed to be mistaken for the original.

*j) Where appropriate, employ sustainable conservation practices and entertain modern solutions*

- Appropriate forms of adaptive re-use are encouraged and supported when necessary to preserve heritage properties.
- Ingenuity in providing modern solutions to facilitate a change of use in a building should not be ruled out as the survival of the building may depend on such solutions.



*Alterations to porch designed to be compatible with existing house in scale, details and colour (note: property not in District, but shown here for illustrative purposes)*

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.3 Conservation and Maintenance Practices

The following suggestions are intended to provide property owners with information for conserving and maintaining their buildings using widely accepted conservation practices.<sup>25</sup>

Both property owners and those involved in approving heritage applications should take these suggestions into consideration when work on buildings in the Heritage District is being contemplated.

In addition to the notes that follow, when restoring and/or undertaking alterations to their buildings, owners are particularly encouraged to reference detailed conservation guidelines contained in the Ontario Heritage Trust's manual for architectural conservation.<sup>26</sup>

##### *Foundations and basements*

- Repair existing masonry (e.g. repointing) with similar materials and techniques.

<sup>25</sup> See references in footnote no. 13.

<sup>26</sup> See Mark Fram, *Well Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation*. (Erin, ON: Boston Mills Press) 2003.

- Ensure proper drainage away from foundation walls to protect masonry from moisture penetration and minimize future damage.
- Original foundation material should be protected from harmful cleaning methods, alterations and covering by other building materials.
- Consultation with professionals is encouraged when repair work is required to ensure structural stability.

##### *Masonry walls*

###### GENERAL

- Original masonry should be retained wherever possible.
- If repair and/or reconstruction is necessary, the new brick or stonework should match the appearance of the original as closely as possible in color, shape and pattern.
- Masonry replacement or repair is best applied by a skilled craftsman.



### 3. Guiding Conservation Principles

### Principles, Practices & Guidelines

#### 3.3 Conservation and Maintenance Practices

- The use of modern techniques and materials is often inappropriate for renovations. Avoid repair with modern masonry materials. Introduction of modern materials will introduce stresses into historic materials.<sup>27</sup>
- Original mortar should be retained whenever possible. Re-point only when necessary to preserve the wall or to reduce water penetration. Re-pointing should be done with mortar of the same color and with joints of the same size, tooling and profile of the original.
- Do not use modern hard Portland cement mortars on old masonry, as it leads to the rapid deterioration of the masonry.
- To prevent damage to brick, the use of electric saws or chipping hammers to remove old mortar shall be avoided; manual removal of mortar is preferable.
- Cracks are to be found in nearly every old building. Since movement in the structure causes most cracking, the cause of the movement should be determined before corrective repairs are undertaken. If structural movement has ceased, simple repointing may be all that is required, but, if the crack is still active, it is essential that the structural problems be resolved before repointing is attempted.
- Parging or stucco of existing brick or stone cladding should only be considered where the masonry façade is in a state of serious disrepair.

#### CLEANING

- Cleaning brick and stone masonry must be done in a way that does not damage the masonry surface.
- Avoid sandblasting, high pressure water blasting or harsh chemicals as they damage the surface of stone

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<sup>27</sup> For example the use of hard, pure Portland cement mortar with relatively soft older bricks can lead to disintegration of the brick as walls shift or moisture escapes.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.3 Conservation and Maintenance Practices

and remove the hard outer layer of brick, which leads to rapid deterioration.<sup>28</sup>

- Unless there is serious accumulation of surface dirt—which is damaging to the masonry—it is often better not to clean, leaving the weathered patina.

##### *Exterior Wall Cladding*

- The application of new surfaces or coatings that alter the appearance and character of the heritage building’s original cladding should not be utilized. The use of metal, plywood, and synthetic sidings such as vinyl is discouraged in the District (particularly on the principle façade(s)).
- The removal of siding considered to be unsympathetic to the District is encouraged (i.e. aluminum and vinyl siding, asbestos tile etc.). Once removed, the heritage building should be restored to its original state using available physical and archival evidence.

- Wood siding should only be replaced when it has lost its material integrity and its ability to hold a surface coating (i.e. paint, stain).
- Wood siding should be sealed and protected, not stripped bare.

##### *Roofing*

###### GENERAL

- The roof is the part of the building most exposed to the weather and the easiest to neglect. Undetected leaks can cause very serious damage in a matter of hours. Regular inspection and maintenance is essential, including annual cleaning of gutters and drainpipes, as well as inspection of flashing, chimneys and other parts. If a roof is damaged in only a few spots, simple repairs may be possible, but recurring leaks usually mean that the entire roof needs replacing.

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<sup>28</sup> Sandblasting also severely damages mortar joints.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.3 Conservation and Maintenance Practices

- Roofs visible from the ground shall be repaired wherever possible to preserve the original materials, color and texture. If replacement becomes necessary then the same material or as close a match as possible shall be used.
- Replacement with original roofing materials such as slate and cedar shingles is preferred, but is unlikely to be financially feasible for many property owners. With discretion, the use of asphalt shingles may be considered as an economical replacement roofing material; consideration should be given to colour and style of shingle.

##### REPAIRS

- The restoration of a roof and any associated details to their original state is encouraged and should be undertaken using available physical and archival evidence. Cornices, brackets, cresting, gables, eaves and chimneys should be preserved and not covered.

##### *Building Openings*

##### REPAIRS

- Original doors, windows (including storefronts) and transom windows should be retained, particularly those with decorative woodwork, leaded or curved windowpanes, or stained glass. Old wood doors and windows can often be repaired at modest costs and continue to serve better than some replacements. Repairs should use similar materials. Rotted portions can be replaced and weather-stripping will make doors and windows weather tight. If only a few windows are beyond repair, it is advisable to replace those and repair the rest. (Broken panes can be easily replaced in existing wood frames much more affordably than replacing the entire window).
- The installation of storm windows can lead to thermal improvements. Property owners are encouraged to incorporate weatherstripping systems that are specifically designed for heritage windows and doors.

### 3. Guiding Conservation Principles

## Principles, Practices & Guidelines

#### 3.3 Conservation and Maintenance Practices

##### *Paint*

- Regular painting of previously painted architectural elements such as wood siding, trim, porch components (e.g. wooden posts, rails and balustrades) and decorative details is recommended.
- Stone and brickwork should not be painted. Already painted masonry walls may be repainted, but with a masonry paint that breathes.<sup>29</sup>
- Painting of previously unpainted brick or stonework should only be considered where the masonry wall is in a serious state of disrepair.
- Although paint colour is **not** restricted in the District to a specific palette of colours, it is suggested that owners rely on historic and District precedence for inspiration and guidance. Historic precedence can

often be determined by simple testing of the painted building surface.

- With pairs of houses (semi-detached) and commercial properties that include multiple tenants, property owners should consider colour schemes that take into consideration the appearance of the whole ‘ensemble’.

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<sup>29</sup> Many types of paint and silicone can create a surface coating on masonry that traps moisture and can result in the outer surface of brick spalling off.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.1 Alterations

Much of the visual appeal of the District is in large part due to the unique heritage features that buildings possess; these features were outlined in **Section 2.5**.

The building stock in the District has now reached an age when renovations have become necessary for various reasons: to halt deterioration and repair any damage that has incurred over the years, to correct any deficiencies in the original building, and to add new, contemporary amenities. However, in bringing older buildings up to proper physical standards, there is a risk of destroying the very features that make these buildings so attractive. The cumulative effect of many seemingly minor changes can degrade the appearance and attractiveness of an entire area. Yet with sensitive renovation practices, the character of buildings can actually be improved and the quality of the streetscape and neighbourhoods can be enriched.

The basic principle of sensitive renovation is to respect the character of the general streetscape as well as the design of the individual building and its particular features. If possible,

existing work should be repaired rather than replaced. If replacement is necessary, it is preferable for new work to match closely the appearance of the original in design, composition, texture and detail. Refer to the **General Policies** outlined in **Section 3.2** to guide restoration and renovation activity.

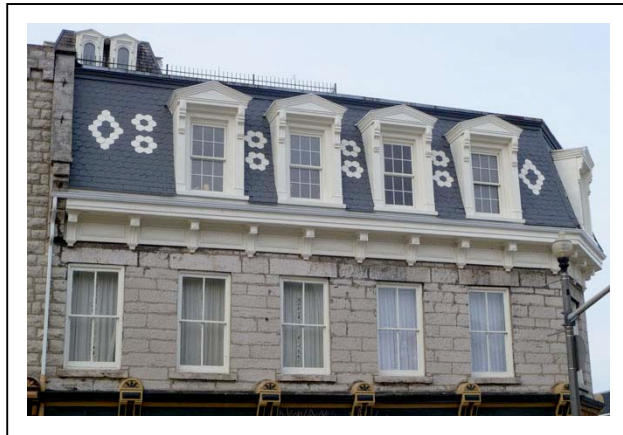
The following guidelines are intended to apply to the alteration of existing buildings. More specific guidelines (for additions, new buildings, building conversions, demolition, main street commercial walls and streetscape/landscape) are dealt with in subsequent sections.

## 4. Practices and Guidelines

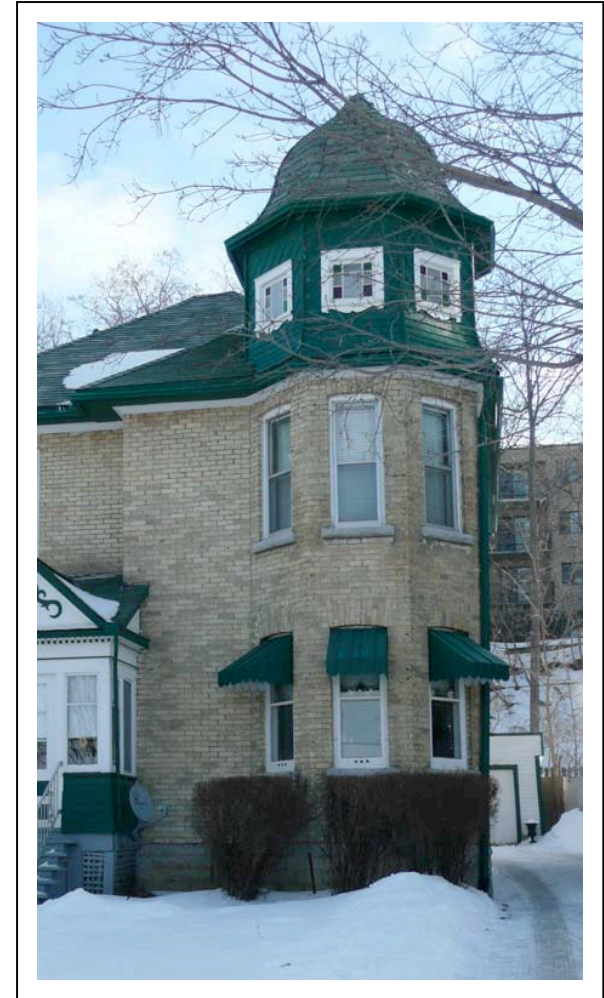
# Principles, Practices & Guidelines

### 4.1.1 Alterations-Roofs and Dormers

■ The shape, texture and detail of a roof greatly affects the appearance of a building. Therefore, it is usually desirable to maintain the original shape of the roof, dormer windows and other details. The elimination or covering of cornices, brackets, cresting, gables, eaves and chimneys should be avoided.



### RECOMMENDED



*Original roof forms should be conserved and maintained. Elements such as the original roof configuration, roofing material and associated architectural details should be maintained.*

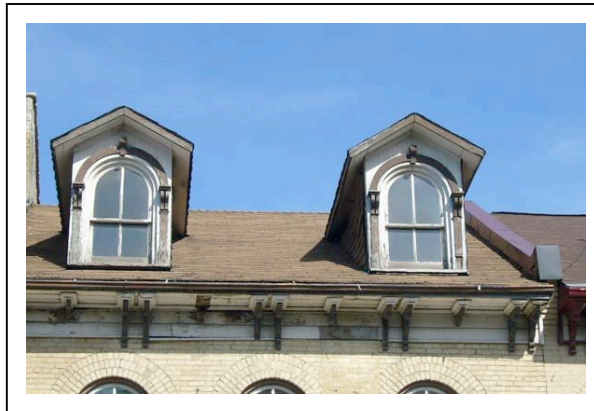
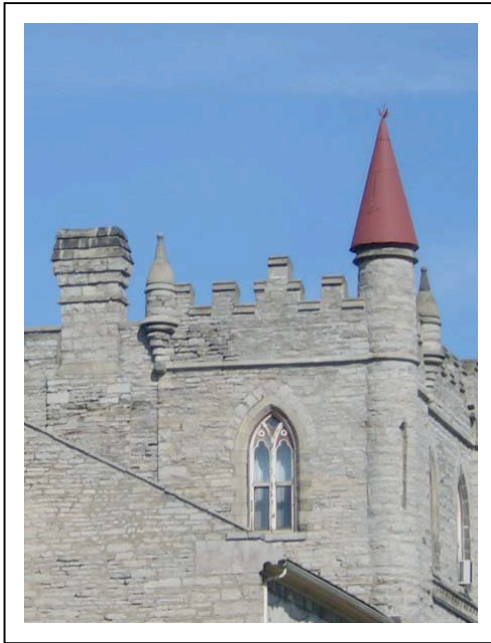
## 4. Practices and Guidelines

## Principles, Practices & Guidelines

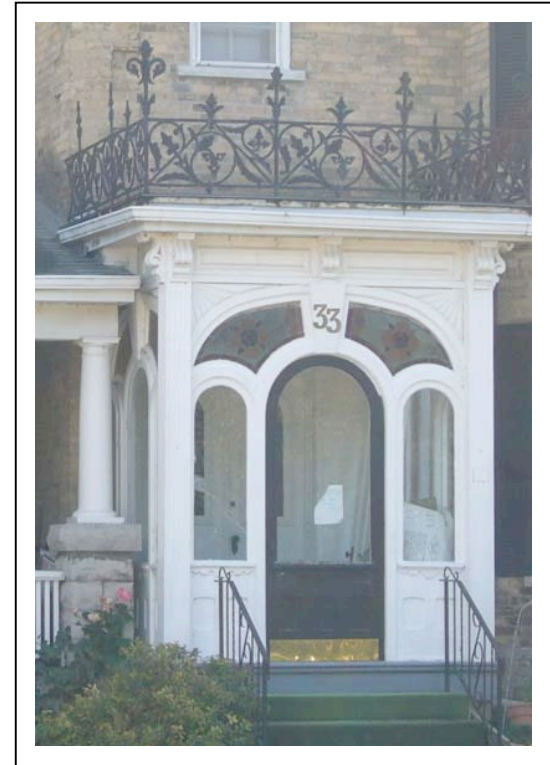
### 4.1.1 Alterations-Roofs and Dormers

- The installation of roof top equipment (e.g. solar panels, satellite dishes, radio beacons, ventilation systems and vents, plumbing stacks, mechanical equipment, roof decks) should be carefully considered so that their visual impact is reduced. The components should not detract from or dominate the appearance of the roofline. Where possible they should be installed at the rear or side elevations, while taking into account the silhouette of the roof.

#### RECOMMENDED



*The shape of roofs and dormers should, in general, not be modified, especially when viewed from the street.*



*Functional and decorative metalwork should be repaired or restored if possible and original materials maintained. If the components need to be replaced then comparable profiles and colors shall be used.*

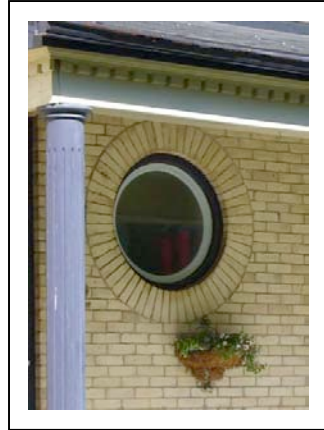


## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.1.2 Alterations- Windows and Doors

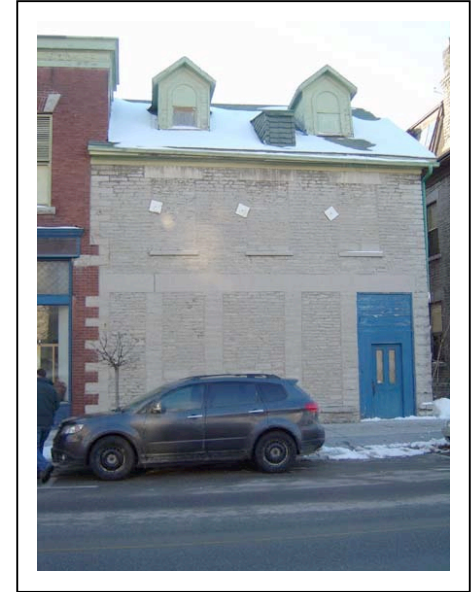
- Original doors and windows should be retained whenever possible, particularly those with decorative woodwork, leaded or curved windowpanes, or stained glass.



**RECOMMENDED**



*Avoid blocking original windows or replacing them with different sizes, styles and proportions.*



**NOT RECOMMENDED**





## 4. Practices and Guidelines

## Principles, Practices & Guidelines

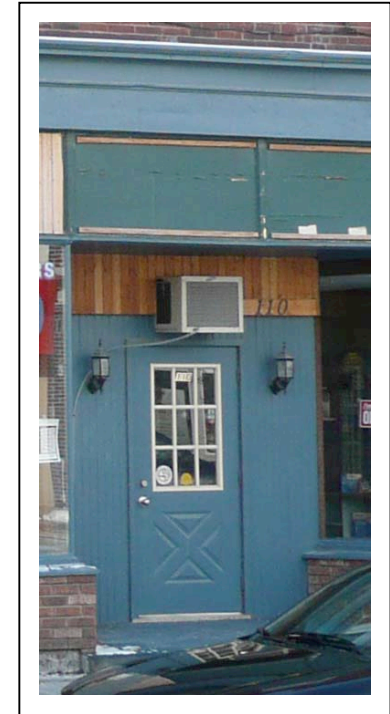
### 4.1.2 Alterations-Windows and Doors

- In order to preserve the visual quality of the facade, replacement windows and doors should be made to fit the original openings. Changing the size of the openings to accommodate standard size windows or dropped ceilings should be avoided. The trim elements surrounding the frames, the sill, lintel and cap should be retained. The new windows and doors should match the original proportions, divisions, depth of inset into the wall, and detail of framing elements.



#### RECOMMENDED

*Retain, repair and restore original wood doors, sidelights and transom windows above doors. If replacement is necessary, use the same size door with similar style and details as original.*



#### NOT RECOMMENDED

*Avoid removing or blocking down transom windows above doors.*

## 4. Practices and Guidelines

# Principles, Practices & Guidelines

### 4.1.3 Alterations-Cladding, Trim and Woodwork

- The application of new surfaces or coatings to principle facades that alter the appearance and character of the building’s original exterior wall surface should be avoided.
- The use of aluminum, vinyl or plywood as an exterior cladding material on the principal façade(s) is discouraged.

*Alteration to original cladding and trim on principal elevations should be avoided.*

*Replacement materials should be the same or similar to the materials being replaced.*



**NOT RECOMMENDED**

- Decorative trim and woodwork is an important element of the heritage character of the District, and should be preserved through regular maintenance and painting. Replacement materials should be the same or similar to those being replaced.



**RECOMMENDED**

*Decorative masonry work on exterior walls should be preserved*



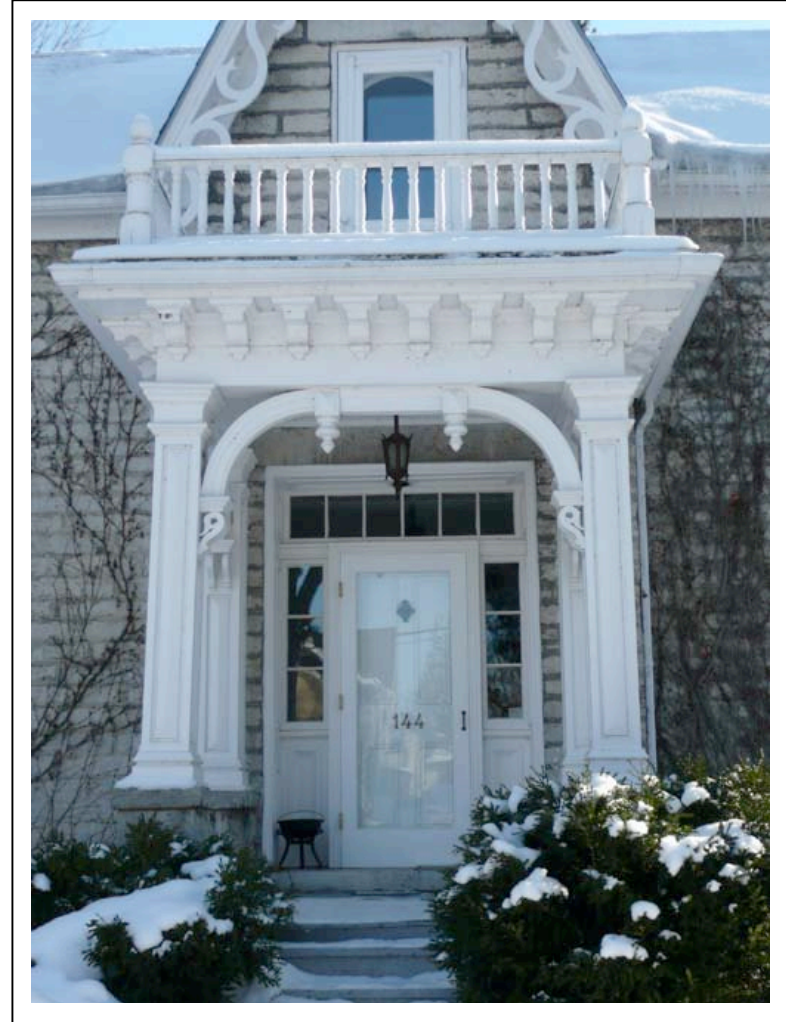
## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.1.4 Alterations-Porches and Entranceways

- Entranceways, front porches, and steps are important architectural elements and should be retained or, if replacement is necessary, the new work should match the existing.
- Replacement of original details such as wood brackets and balusters should be with appropriate and compatible materials. Avoid the use of alternatives such as thin metal work, crude wood (i.e. pressure treated wood and fencing materials) or concrete posts for repairs and replacement.
- Enclosing a porch or winterizing a space that had previously been merely covered may be considered if the new work is compatible in character to the existing building and other porches (of similar style) in the area. This work is subject to the same guidelines and suggestions as Additions and Extensions in **Section 4.2**.

*Retain, restore and replace columns, railings, spindle and decorative trim on porches and entranceways.*



*note: property shown not in District, but shown here for illustrative purposes*



**4. Practices and Guidelines**

**Principles, Practices & Guidelines**

4.1.5 Alterations-Fascias, Gables and Cornices

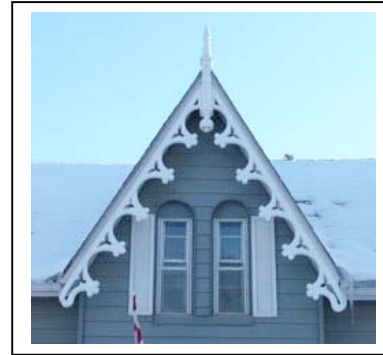
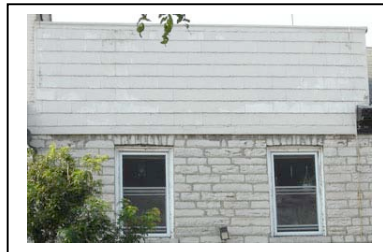
The use of decorative trim is widespread throughout the District. It can readily be seen on gabled roof ends, fascia mouldings, brackets and cornices on residential as well as commercial buildings. It is an essential contributing component comprising the heritage character of the District and should therefore be preserved.



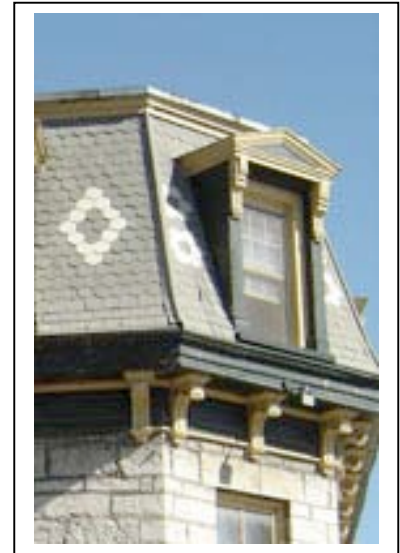
**NOT RECOMMENDED**



*Avoid cladding decorative gables, fascias and cornices.*



**RECOMMENDED**



*Retain, restore and replace decorative trim on gables, fascias and cornices using the same materials where possible.*

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.2 Additions and Extensions

Property owners typically undertake additions to update buildings for particular contemporary requirements; for example, to provide more space and/or to improve how the interior space functions. Similar to alterations—but often more so—additions can have a major impact on both the dwelling itself and surrounding streetscape.

#### *Recommended practices and guidelines*

- Additions should be compatible with and complement the architectural character of the original building, neighbouring buildings and predominant streetscape of the surrounding area. This is particularly true with respect to:
  - overall size/mass and proportions,
  - setback from the street,
  - height and roof shape,
  - exterior materials, and
  - style, size and proportion of window and door openings.
- Additions should generally be located to the rear on less significant elevations of the building to reduce their

visibility from, and visual impact on, the street.

- Additions should not obscure or remove historically significant features of the original building.
- Try to keep the height and bulk of the new addition smaller where possible than the existing building.
- Additions should not be higher than the ridge of the main roofline of the property as seen from the street in front of the building.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.3 Demolition

The ultimate goal of any heritage conservation district is to preserve and protect the heritage resources within the district. Consequently, demolition of heritage buildings with architectural and/or historical significance in the district runs contrary to this goal and is strongly discouraged. However, it is recognized that there are situations where demolition may be considered necessary due to partial destruction due to fire and severe structural instability.

It is important to note that the Town, under the *Ontario Heritage Act*, may refuse a demolition permit for any building located within the District.

Changes to the *Ontario Heritage Act* introduced in 2006 Under Section 27(3) regarding structures listed on the Register<sup>30</sup> state that: “the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least

60 days notice in writing of the owner’s intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure.”

#### *Recommended practices and guidelines*

- The demolition of heritage buildings in the District is strongly discouraged. Demolition is considered to be the *least* preferred course of action, and should be contemplated only as a last resort.
- All efforts should be made by the municipality to enforce the Property Standards By-Law (No. 63-2007) in order to prevent any demolition because of neglect.
- In rare cases where the demolition of a heritage building is proposed, under this Plan the building needs to meet at least three of the following criteria to be seriously considered for demolition:
  - It is in poor condition.
  - It has minimal heritage value.

<sup>30</sup> This would include heritage conservation sites in the District identified in Schedule D of the Official Plan.

### 4.3 Demolition

- It is not essential to the heritage character of the area.
- The replacement building as shown in the building permit complies with the guidelines in this Plan, and is compatible with, and enhances the heritage character of the district.
- In situations where demolition is approved, property owners may be asked, where feasible and under safe conditions—through written means or photographs—to document notable heritage features to create a record of the building and its components.



## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.4 New Buildings and Infill

There are several places in the Heritage District where new buildings are likely to be constructed, and where vacant lots currently interrupt the streetscape. As outlined in the Official Plan, appropriate infill development is essential to the long-term success of the Central Commercial Area.<sup>31</sup> It is important to encourage new construction that is supportive of the overall character of the District and helps to re-establish streetscape continuity in areas dominated both by residential and commercial buildings.

New buildings not only include a new principal residence or commercial building, but also significant outbuildings such as a detached garage or studio. These can have a significantly impact on the property and on the feel of the street and surrounding neighbourhood.

In addition to the following and where applicable, property owners should also follow the practices and guidelines more specific to existing **Main Street Commercial Walls** outlined

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<sup>31</sup> See section 3.2 in the Official Plan of the Town of St. Marys (consolidated Oct. 1, 2007), and more particularly, section 3.2.2.7.

in **Section 4.6.**

#### *Recommended practices and guidelines*

- New buildings in the District should generally be compatible with other buildings in their immediate area with respect to:
  - building height and footprint on the site,
  - setback from the street,
  - overall size, massing and building width,
  - exterior materials selected, and
  - the size, shape, proportion and number of windows and doors.
- Typically, new buildings should be 1-1/2 to 2 stories for residential buildings, and 2-3 stories for commercial buildings.
- In locations where there is significant variation in setbacks, new buildings should avoid being excessively **set back from OR projected in front of**, the building line of adjacent buildings.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.4 New Buildings and Infill

- New buildings should be sited parallel to the street (not at an angle).
- Avoid large expanses of blank, unarticulated facades that are visible from the street.
- Where appropriate within the street-facing façade(s) of new buildings, incorporate (in a contemporary way), some of the key features that comprise the heritage character of the District.<sup>32</sup> Particular features may vary depending on the use of the new building (whether residential or commercial), but can include such features as:
  - transoms and sidelights at doors and windows,
  - covered porches and verandahs,
  - enclosed entrance vestibules,
  - dormers,
  - divided light windows,
  - decorative details on cornices, eaves and brick, and
- masonry treatment surrounding windows and doors and at building corners (i.e. quoins).<sup>33</sup>
- Limestone, brick and wood clapboard are the predominant exterior wall cladding materials in the District. New buildings should utilize these materials for principal elevations. The use of concrete and masonry blocks and aluminum or vinyl siding is discouraged, and should be used with discretion; if used, the materials should be preferably on secondary elevations or rear additions
- Entrances for new buildings should be oriented to the street, and should incorporate appropriate architectural details to enhance the visual appeal of the streetscape.
- Window designs in new buildings should generally reflect vertical and rectangular dimensions. Large, full length, multi-storey or picture windows should be avoided.
- Wherever possible, new garages should be located in the rear yard.<sup>34</sup>

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<sup>32</sup> Refer to section 2.5 in this Plan.

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<sup>33</sup> These features add character that complement the original appearance of the neighbourhood and also add value to individual properties.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.4 New Buildings and Infill

- It is desirable to engage a design professional in the planning and design of infill buildings in the district. New buildings and infill in the District should be subject to site plan approval.



*Complementary new building in District—masonry façade in neutral palette with cornice banding and decorative stone surrounding arched front window  
(credit: St. Marys Heritage Committee)*

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<sup>34</sup> See section 4.2, for recommended practices and guidelines regarding the design of garages additions.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.5 Building Conversions

The adaptation of residential properties within the District for commercial uses has been occurring for a number of decades. These conversions have allowed some heritage buildings to find a new life and be recycled for contemporary uses—buildings that otherwise might not easily suit today’s households.

However, the alterations that are sometimes undertaken as part of the conversion process are not always sympathetic to the heritage character of the original building or to the surrounding neighbourhood. It is important that the residential character of the original buildings be maintained because this small-scale ‘residential’ quality is an essential component of the District.

In addition to the following, property owners should follow the practices and guidelines outlined in **Section 4.1** for alterations to heritage properties.

Where a building addition is needed to accommodate more space as part of a conversion, guidelines in **Section 4.2** apply.

#### *Recommended practices and guidelines*

- Avoid altering the streetscape facade of the building.
- Avoid blocking up or removing original door and window locations.
- Where more than one tenant occupies the converted building, try to provide access to individual tenants from the interior of the building. If this is not feasible, new entrances should be located to the side or rear of the dwelling.
- In some cases the building may even revert back to a residential use dependent upon the demand for commercial space in the downtown core. Therefore, alterations should be as reversible as possible, keeping in mind the option of reverting back to the original use of the building in the future.
- If exterior stairs are required for access or emergency exit purposes, they should be situated at the rear or side of the dwelling away from view, using materials and construction methods that are compatible with the original building design.

## 4. Practices and Guidelines

# Principles, Practices & Guidelines

### 4.6 Main Street Commercial Walls

The following recommended practices and guidelines address the sizable stock of 19<sup>th</sup> and early 20<sup>th</sup> century traditional main street commercial buildings found in the District. The highest concentration of this stock occurs along Queen Street between Water and Church Streets as well as on Water Street between Queen and Jones Streets. These blocks consist of mixed-use buildings with continuous retail facades at street level with one or two levels of residential or additional commercial use above.<sup>35</sup>

The following guidelines address alterations, additions, and new construction specific to main street commercial buildings as described above. General guidelines for this area also apply, and are found in **Alterations** and **New Buildings and**

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<sup>35</sup> Although some of the retail facades have undergone modifications over time, original details and proportions may still exist behind later signage or surface finishes. At upper levels, there are excellent examples of decorative brick, stone, terracotta, wood and metal details from the period. Decorative cornices at the roof level as well as above the storefronts are typical (revised excerpt pp. 53-54). See Commonwealth Historic Resource Management Limited, Downtown St. Marys Heritage Conservation District Study, Final Report, May 2006. The Commonwealth report is available at the Clerk's Office in the Town Hall, the office of the Chief Building Official at the Municipal Operations Centre and at the St. Marys Museum.

**Infill** outlined in **Section 4.2** and **4.4** respectively.

#### *Recommended practices and guidelines*

##### GENERAL

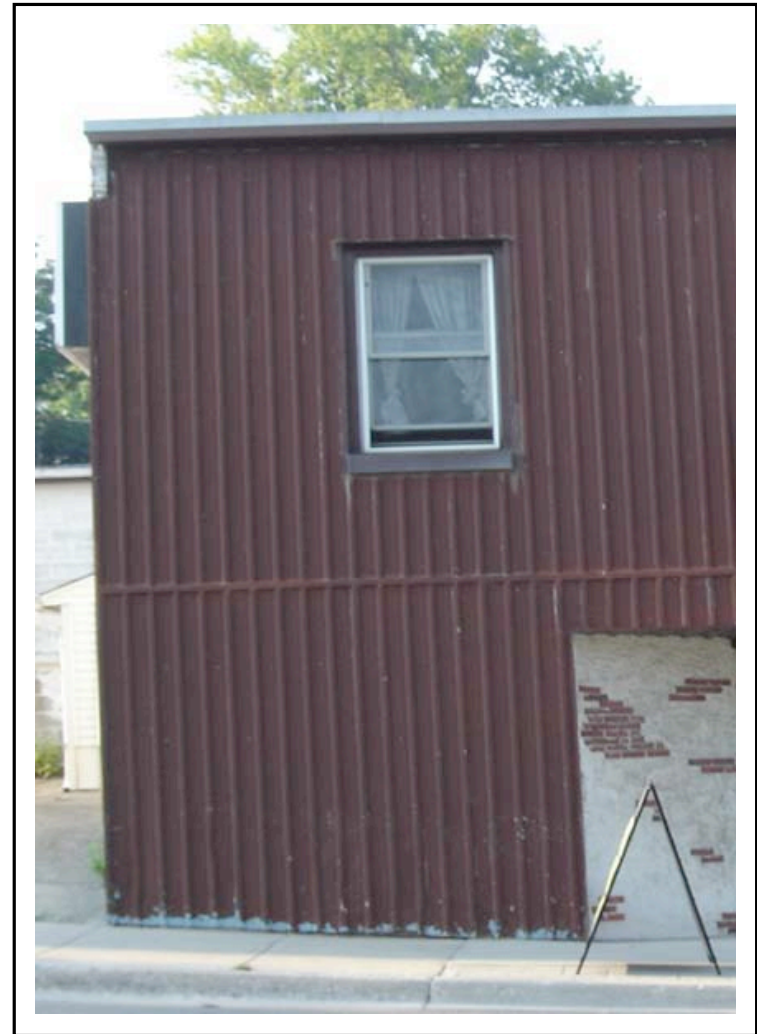
- The massing and form of new buildings and infill in the area should reflect the character of the existing traditional main commercial streetscape. The buildings should primarily be two or three stories in height, be built out tight to the sidewalk, in line with existing neighbouring buildings and in most cases, should cover the entire width of the lot to establish a continuous commercial street frontage.
- The facades of new buildings in this area should be designed so that they are compatible with, and reflect the character of the other buildings in the area by incorporating:
  - brick or limestone for the principle façade(s) along main streets,

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.6 Main Street Commercial Walls

- horizontal rhythm and visual transitions between floors through string courses, a change in materials, and a shift in the proportion of glazing, and
  - the use of dormers and decorative cornice/parapet line at the roof edge.
- 
- In the case of very wide lots, the façade of new buildings should be divided to look like separate buildings in an attempt to maintain appropriate vertical scale.
  - In new buildings or alterations, roof lines should be horizontal or slope towards the front of the building
  - It is generally preferable to maintain and retain original features on the streetscape façade(s) of the building.
  - Avoid large expanses of blank, unarticulated facades that are visible from the street.
  - Cladding over existing exterior masonry or brick walls—particularly on the principal façade(s)—is discouraged.



*Cladding over existing masonry walls is discouraged—  
example of metal cladding over original brick wall  
(credit: St. Marys Heritage Committee)*

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.6 Main Street Commercial Walls

- If alterations are required to provide barrier free access, ramps and railings should blend in with the existing



*Storefronts should be designed as an ensemble—avoid carrying the distinction between tenants above street level  
(credit: St. Marys Heritage Committee)*

building by using compatible materials, colour and design details.

#### STOREFRONTS

- All new construction, alterations, and additions along the commercial main streets should be designed with the pedestrian as the primary focus at the street level (i.e. pedestrian scale, enhanced visual interest, retention of storefront features).
- It is generally preferable to keep traditional storefronts including key features such as original windows, doors, transoms, signboard area and any architectural details and embellishments.
- If there are several storefronts and signs on a building, an overall design framework should be established by the building owner within which each tenant can create an individual variation. Avoid carrying the distinction between separate tenants up beyond the first floor commercial storefront level.



## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.6 Main Street Commercial Walls



*Recessed entrances in original storefronts should be retained*

#### KEY FEATURES

- Existing recessed entrances should be retained. Incorporating recessed entries is encouraged in the design of new buildings.
- The size, shape, proportion and number of windows and doors should be consistent with other properties along the commercial main streets, and respect the style of ‘traditional main street architecture’ of the period.
- Replacement windows and doors should fit within original openings and surrounding details should be retained. Replacement windows should respect the spirit of the original architecture and window design.
- Existing window and door openings should not be blocked-up or removed.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.6 Main Street Commercial Walls

#### SIGNS AND AWNINGS

- Storefronts and signs should fit within, and not obscure the architectural framework, structural elements, or details of the building. They should relate in scale, design, materials and colour to the rest of the building. Signs should reinforce the shape and proportion of the façade and should not be seen as unrelated objects attached to it.<sup>36</sup>
- Storefront signs should be restricted to the fascia above the display windows or in an equivalent position, usually below the storefront cornice.
- If original signboards are not currently being used, they should be downplayed and not clad in visually prominent materials such as sheet metal, vinyl or aluminum siding.
- Awnings should be made of canvas and be retractable and should complement and not obscure the architectural details of the building. Plastic and sheet metal awnings as

well as fixed back-lit signs in the shape of awnings are unsuitable in the District.



*Traditional storefront restored with retractable awning and appropriate use of signboard*

<sup>36</sup> See Signage By-Law No. 33-2005, Section 9.0 (c). “No sign shall obstruct the significant architectural features of a building and surrounding buildings, including, but not limited to windows, brackets, sills, decorative masonry and cornice.”

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.7 Streetscape and Landscape

The following recommended practices and guidelines address the maintenance and enhancement of streetscape and landscape elements that are so important to how people experience the District. Some of the suggestions that are included below are potential initiatives or under the realm of public works projects that the Town should consider pursuing in the future.

These recommendations are part of the Heritage Conservation District Study previously conducted, and are contained here for easy referencing purposes.<sup>37</sup>

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<sup>37</sup> This section contains full (and some revised) excerpts from the Study (pp. 41-48). Readers are encouraged to refer to the full study for contextual information. See Commonwealth Historic Resource Management Limited, Downtown St. Marys Heritage Conservation District Study, Final Report, May 2006. The Commonwealth report is available at the Clerk's Office in the Town Hall, the office of the Chief Building Official at the Municipal Operations Centre and at the St. Marys Museum.

#### *Recommendations*

##### GENERAL

- The existing streetscaping program was implemented in the 1970s, and should be reviewed for general compliance with the heritage character of the District.
- Streetscape enhancements should be used to increase a person's ability to perceive the character of the district, improve pedestrian circulation and visually link the various components within the District (i.e. buildings, streets, landscape elements). They should enhance the District's ambiance while providing for contemporary needs (e.g. benches, waste receptacles, street lighting) and should maintain the Town's atmosphere and scale.

##### BLOCK PATTERNS

- The existing layout of streets within the District should be retained.
- Existing laneways should be retained and enhanced.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.7 Streetscape and Landscape

#### VEHICULAR TRAFFIC

- The Town should consider the possibility of diverting truck traffic around the Heritage District and the downtown.
- The steel bridge should be retained and restored if feasible.

#### VEHICULAR PARKING

- On-street parking should be actively encouraged in the District.
- For streets with a heritage residential character, parking should be permitted on one or both sides of the streets during daytime hours.
- The Town should consider requiring landscape buffering and canopy tree planting along street fronts of surface parking lots, to provide visual continuity with adjacent streetscapes.

- New parking lots should be located so they will minimize gaps in the continuous building wall of a block.

#### PEDESTRIAN CIRCULATION

- Pedestrian linkages between streets and adjacent paths and trails should be promoted, preserved and enhanced.

#### STREET FURNISHINGS

- Street furniture elements should share a consistent material and colour scheme.
- The Town should consider investigating alternative banner designs that are unique and distinctive (e.g. laser cut metal), and use these throughout the District.

#### BUILDING SIGNAGE<sup>38</sup>

- Commercial signs should be seen as a potential to contribute to, rather than detract from, the character of the

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<sup>38</sup> In addition, refer to Section 4.6 for more specific guidelines that address signage along Main Street Commercial Walls.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.7 Streetscape and Landscape

area; they should comply with the Sign By-Law (No. 33-2005).

- Architectural features, elements and details on heritage buildings should not be obscured or destroyed. New signs should also respect neighbouring buildings.
- Signage materials should be complimentary or compatible with those of the building.
- For commercial signs in residential areas, (i.e. buildings converted from residential to commercial uses), discretion should be used to ensure that signage is appropriate for the residential character of the area (particularly with regards to size, location and materials). The sign should not overpower the residential scale of the building or neighborhood.
- New signs attached to a heritage building should be capable of being attached and removed without causing damage to the heritage fabric. Generally, fixings should

not be corrosive and should be into mortar joints where possible.

- The number of signs on a building should be carefully considered to avoid visual clutter.
- Where appropriate, corporate image requirements for signage such as specific colours and profiles, should be adapted to be compatible with the heritage character of District.



*Building signage compatible with heritage character*

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.7 Streetscape and Landscape

#### BUILDING AND SITE LIGHTING

- Use lighting to accent architectural details, to accent building entrances, to accent signs, to illuminate sidewalks and to provide a safe and secure environment.

#### STREET LIGHTING

- Consistent use of existing ornamental pedestrian lights should be continued throughout the district, including use of taller poles at intersections.

#### OVERHEAD UTILITIES

- Where possible, continue burial of utility lines throughout the District, especially the commercial areas.

#### STREET TREES

- Mature trees are part of the HCD residential character and should be preserved and protected. The Town should consider adopting a tree preservation by-law as well as investigating the need for a Landmark/Heritage Tree Program.

- As street trees mature, they should be replanted; where possible in residential areas, new trees should be large-canopied, green foliage, deciduous trees.
- Existing trees should be monitored on a regular basis to ensure that they remain healthy. Pruning of dieback and fertilization should be undertaken as required to preserve the existing trees.
- The Town and property owners should consider cooperating in developing a tree planting program for the residential areas of the district.
- Undertakings such as road widening and installation of new underground services or overhead utilities should be assessed prior to the start of construction to determine if they will negatively affect existing street trees.
- Any redevelopment of the main arterial streets<sup>39</sup>, with the exception of the traditional main street commercial blocks of Queen and Water Streets, should include--as

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<sup>39</sup> Arterial streets include Queen Street, Water Street South, Church Street North, Station Street and James Street.

## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.7 Streetscape and Landscape

much as possible--extensive canopy tree planting within road allowances on both sides of the streets.

- To enhance tree growth and reduce tree mortality along arterial streets, the Town should investigate the construction of linear tree pit trenches when the existing roads and sidewalks are redeveloped.
- The Town should investigate other drought and salt tolerant species that share a similar morphology, size and height requirements as the existing street trees, and are appropriate for a heritage setting.

#### FENCES

- The use of chain link as fencing material in the District should be discouraged in locations visible to public.

#### PARKS AND GREEN SPACE<sup>40</sup>

- The existing streetscape program was implemented in the 1970s, and should be reviewed for updating and general compliance with the heritage character of the District.
- The Town should encourage good maintenance and landscape improvements that retain and enhance the public green spaces in the District.
- Property owners should be encouraged to retain and preserve existing stone retaining walls and steps along side yards and frontages.

#### SCENIC VIEWS

- There are many significant views and vistas in the Town that visually cross and intersect the Heritage District area. The importance of these views to the cultural identity of Town should be recognized, and

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<sup>40</sup> See page 47 in the Heritage Conservation District Study for a description of the significant parks and public green spaces within and adjacent to the District.



## 4. Practices and Guidelines

## Principles, Practices & Guidelines

### 4.7 Streetscape and Landscape

considered when any major changes are undertaken within the District and areas surrounding the District that may impact these views.<sup>41</sup>

#### NATURAL AREA AND FEATURES

- Measures should be taken to restore Trout Creek to a healthy functioning state.
- The riparian zone along both the river and creek should be protected and enhanced.



*Water tower landmark at eastern 'gateway' leading to the Central Commercial Area*

<sup>41</sup> See page 48 in the Heritage Conservation District Study for a list and description of significant scenic views.

### *Adopting the Plan*

The Heritage Conservation Plan will become a valuable tool for the community to move forward in preserving the heritage resources in St. Marys. An implementation Plan is necessary to know what the next steps need to be to ensure that Council moves forward with the Plan in an ordered way.

Under the Heritage Act, the Town will make the HCD Plan available to the public for a period of time, allowing for review by residents and owners. Following this review period, the Town will then hold a public meeting to discuss the HCD Plan. During this public meeting, comments can be received through oral representations or written submissions to Council.<sup>42</sup> Council will then consider designating the District, and the adoption of the designation bylaw. If passed, the designation bylaw will be registered on the title of all the properties in the District.<sup>43</sup>

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<sup>42</sup> Oral or written representations must be made to Council at this in order for persons to make an appeal to the OMB.

<sup>43</sup> Any person who objects to the bylaw may appeal to the Ontario Municipal Board.

The Town will also notify the Ontario Heritage Trust for inclusion in the Provincial Register.

### *Recognizing the Heritage Conservation District Plan*

The Ontario Heritage Act requires an HCD study to make recommendations as to any changes that will be required to the municipality's official plan and any municipal by-laws including zoning by-laws.

The Town of St. Marys Official Plan should be amended to recognize the boundary for the Heritage Conservation District. The policies in Section 2.3.2.6 that refer to the consideration of a Heritage Conservation District should be revised to recognize the District, once adopted. In addition, at the time of this Plan, it was anticipated that the Town would be undertaking a review of its Zoning By-law in the near future. During this review, the Town should ensure the Zoning By-law recognize the boundary of the District and be reviewed for conformity with the HCD Plan.

Specifically, the following guidelines should be considered as part of a zoning review: set-back guidelines, lot coverage, side, front and rear yard requirements of the by-law to address consistent massing and setbacks, particularly on main streets. In addition, the Town should consider how to allow for the mixed-use and commercial uses that are anticipated by the Commercial Core Area designation of this area in the Official Plan, and how to protect the residential character of buildings converted for commercial uses, specifically:

- types of uses that can be accommodated within a residentially designed building that will not require structural alterations that would deter from the residential appearance of the building;
- flexible parking requirements to allow parking to be accommodated without requiring primarily residential properties to include parking lots that would deter from the overall character of the area.

In addition, it is recommended that the Sign By-Law map reflect the Heritage Conservation District Boundary. The Town may consider implementing specific guidelines for commercial uses in residential buildings to minimize the impact of signage on the area and maintain the residential character, in keeping with these guidelines. It is also recommended that the Town review its Site Plan Control By-laws for conformity with this Plan, and implement any revisions as may be needed. The Town should consider implementing specific Site Plan Controls within the District for applications where significant alteration to a property is being proposed as in the case of new construction.

The Town may consider reviewing its Property Standards By-Law and consider whether or not there are additional minimum standards that would be required in the HCD, as permitted under Section 38.1 and 45.1(1) of the Ontario Heritage Act.

## 6. Heritage Permits

## Implementation

### 6.1 Heritage Permit Process

Once the Heritage Conservation District designation comes into force, no person (including the Municipality) can erect, demolish, remove or alter any external portion of a building or structure without a permit issued by the Town of St. Marys. The permit process is a way for the Town to assess how the proposed changes will impact the heritage attributes and character of the District.

The following **Figure on page 74** illustrates a recommended process for receiving applications for heritage permit. This process is based on best practices in other jurisdictions. Under the Ontario Heritage Act, Council can delegate the review of proposed work in the District to Town staff and a heritage conservation district advisory committee.

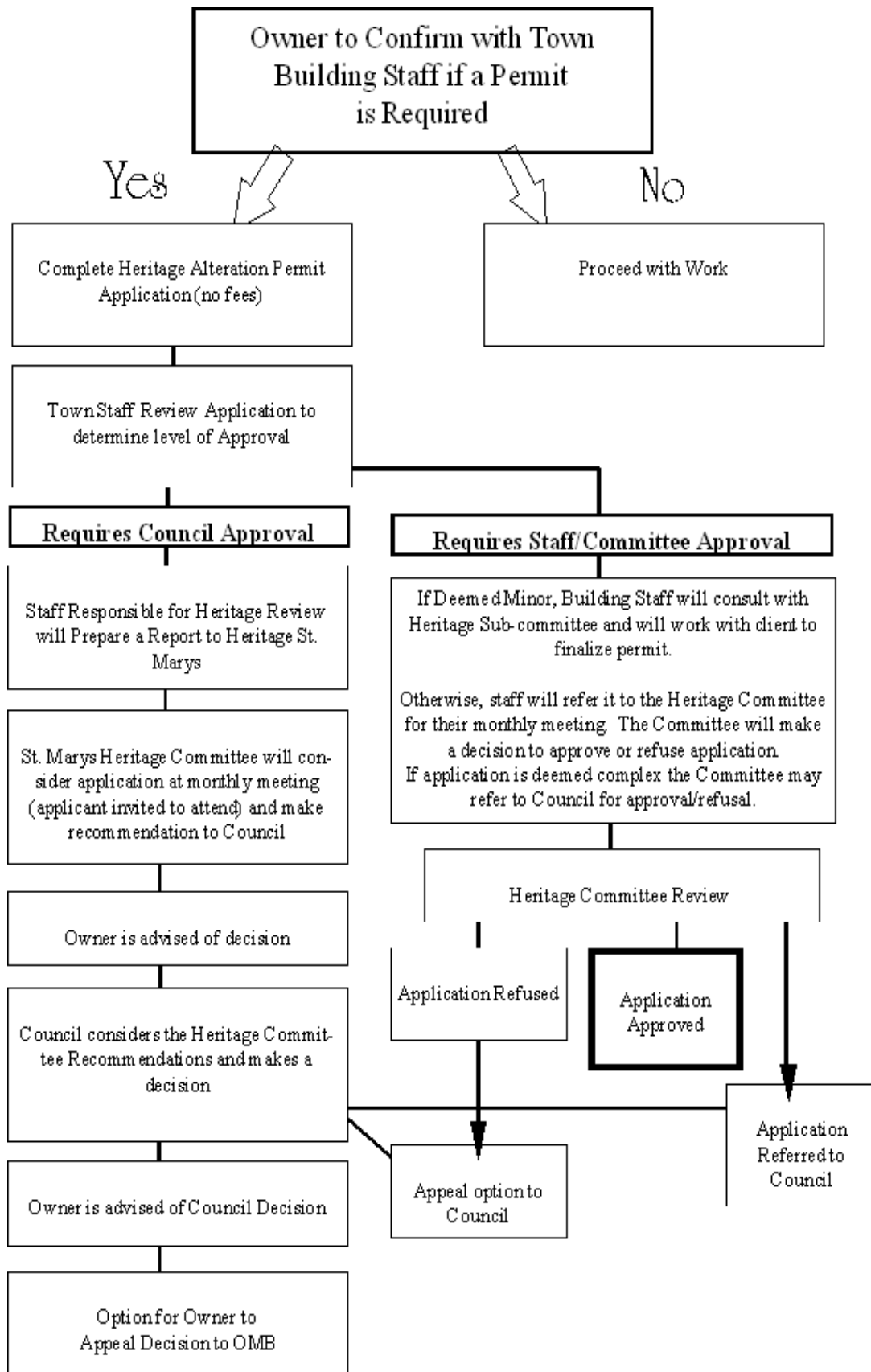
It is highly recommended that property owners consult the Building Department **before** proceeding with any renovations, and familiarize themselves with the requirements of these guidelines. It is recommended that the HCD advisory committee make some representatives available for

consultation with property owners in order to help expedite the process.

Town staff responsible for reviewing applications and the HCD advisory committee will maintain accounts of all actions on applications, or decisions that a permit is not required, and will regularly provide updates to Council.

#### *When No Building Permit is Required*

Upon consultation, building staff will decide if the application requires a heritage permit or not. If it does not require a heritage permit, authorization to proceed is given. If a heritage permit is required, the Building Official will assess the complexity of the proposal. If the proposal is deemed to be straightforward and appears to be in compliance with this Plan, and does not require a building permit, then a consultation with appointed representatives of the HCD advisory committee will occur within 5 business days of receipt of the application. An expedited heritage permit may be issued or the appointed representative(s) may refer the



Overview of permit process

## 6. Heritage Permits

## Implementation

### 6.1 Heritage Permit Process

application to the larger committee as a whole if there are outstanding issues. The applicant may attend the HCD advisory committee meeting.

If the item is referred to the HCD advisory committee, they will review the application at their regularly scheduled meeting, and will recommend approval or refusal. They may also decide to refer the matter to Council.

#### *Where a Building Permit is Required*

Where an application also requires a building permit, then the heritage district compliance will be managed as part of the building permit process. Town staff will forward the application to the HCD advisory committee for review. The committee will review the application and approve the permit or refuse it with comments. Without heritage compliance, the building permit cannot be issued.

#### *Appeal Process*

If there are items of dispute, the HCD advisory committee will work with the property owner to identify acceptable alternatives. St. Marys Heritage Committee is a resource for property owners and will make reasonable efforts to resolve issues arising consistent with it. If there can be no acceptable common ground established, then the HCD advisory committee may deny the permit with comments as to why the permit has been denied.

If the HCD advisory committee denies an application, the applicant may refer the matter to Council for final resolution. According to the Ontario Heritage Act, if a heritage permit is denied by Council or approved with terms that are not acceptable to the applicant, as a last resort, the applicant may appeal this decision to the Ontario Municipal Board (OMB). The OMB can approve, approve with conditions or deny the application. The decision of the OMB is final.

## 6. Heritage Permits

## Implementation

### 6.2 When a Permit is Not Required

#### *Alterations Not Requiring a Permit.*

Under the Heritage Act, a Plan must identify minor alterations that an owner can carry out without obtaining a permit. The following are alterations that can be carried out without the requirement of a permit. Please note that this does not mean a building permit may not be required. It is the responsibility of property owners to confirm the requirement for permits and the exemption from permits with the Town of St. Marys Building Department. Initial contact with the Building Department can be made in person or by telephone or email. Notice of clearance can be obtained with little delay. If the work appears complex or difficult to assess, staff may require consultation with the HCD advisory committee.

The following work is deemed to be ‘minor’ under this plan and will be *exempt* from a permit:

- all work within the interior of buildings or structures (unless a Part IV Designated Building with interior features designated)
- plantings and gardens

- removal of vegetation other than trees of 200mm caliper or greater
- **repair** of existing elements using like materials that match the original
- exterior paint<sup>44</sup>
- masonry cleaning and re-pointing<sup>45</sup>
- installation of central air-conditioning requiring mechanical equipment
- caulking, weather stripping, and installation and removal of storm windows
- **repairs** to roofing, chimneys, eaves troughs and downspouts, fences or broken window panes
- roof re-shingling as per District Guidelines (e.g. replacing asphalt with same material)

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<sup>44</sup> It is recommended that heritage colours be used where possible, and the HCD advisory committee can provide guidance, but this is not a requirement of the Plan.

<sup>45</sup> It is recommended that the applicant seek guidance from the HCD advisory committee, but this is not a requirement of the Plan.



### 6.2 When a Permit is Not Required

- paving or re-paving a driveway in asphalt or concrete (re-sizing or relocating a driveway may require a permit after consultation with the Town)
- minor installations including small satellite dishes, lighting and flag poles
- rear yard installations not visible from the street such as fencing, garden sheds, gazebos, dog houses, pools and children’s play equipment
- change in roofing material
- replacing wall cladding (e.g. siding over wood or brick)
- repair or replacement of windows and doors
- new chimneys
- skylights
- trim and decoration (including exterior lighting visible from the street)
- fences visible from the street
- alterations to downtown storefronts
- signage and awnings on commercial buildings
- installation—by the municipality—of the following items within the street allowance: street furniture, sidewalk lighting, plantings and above ground public works
- demolition

Below are some examples of alterations/modifications that **will** require a heritage permit (note these may also require a building permit). This list is not exhaustive but is intended to give the applicant an idea of the types of work that will require a permit. These may also be subject to site plan review if applicable under the Site Plan By-law for the Town.

- new construction (new buildings and additions or new structures such as garages)
- structural alterations (e.g. verandahs and porches, soffits and fascia)

*Public Awareness*

Upon adoption of this Plan, it will be critical that the Town initiate a plan to inform and advise the public of the District. The District Plan should be circulated to key associations and businesses in Town as well as being made available to the public through the Municipal Office, and potentially on the Town’s website (<[www.townofstmarys.com/](http://www.townofstmarys.com/)>).

The Town may consider developing a district-specific web-page that will provide information, and will advise when grant funds are available and any deadlines.

The Town may consider Historic District signage or banners to be mounted on light standards throughout the District. A walking tour may be developed as part of a tourism/public education initiative.

Residents should be encouraged to serve on HCD advisory committee. Representation of the advisory committee should be reviewed on a regular basis to ensure broad representation.

*Monitoring*

The District Plan and associated guidelines should be reviewed on a regular basis by Municipal Staff to ensure the Plan’s objectives are being achieved.

If amendments are required, this Plan may be amended by by-law after consultation and public notice to potentially impacted parties.

*Façade Improvement Grants*

The Town of St. Marys has had a façade improvement process that allowed downtown core property owners to apply for grant funds for improvements to their buildings. It is recommended that the process of approving grants favour applications that comply with this Plan, and through this guidance, attempt to restore and improve buildings in a manner that is sympathetic with the heritage character of the District.

The following definitions have been compiled mainly from *Parks Canada Standards and Guidelines for the Conservation of Historic Place in Canada*.<sup>46</sup> Some additional definitions have been adapted from *A Dictionary of Architecture* by Nikolaus Pevsner et. al. and other websites.

*Italicised* words are defined in other entries.

- ashlar:** stone that has been cut square and *dressed*.
- balustrade:** a railing composed of *posts* (balusters) and a handrail.
- bargeboard:** boards or other decorative woodwork fixed to the edges or projecting rafters of a *gabled roof*, sometimes called gingerbread.
- batten:** a narrow vertical strip of wood, placed over joints of wider boards to protect the joints from the weather; the combination is called board-and-batten construction. See also *siding*.
- bracket:** a member, often triangular in form, that projects from a wall or other vertical surface & supports another component, such as an *eave*.

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<sup>46</sup> See website <http://www.pc.gc.ca/eng/docs/pc/guide/nldclpc-sgchpc/page5/page5a.aspx>.

- capital:** the decorative head of a column, *pilaster*, *pier* or other vertical support.
- casement:** a window that opens by being hinged on one side.
- cladding:** the external, non-structural material (typically wood, vinyl, aluminum) that protects the structural wall or frame from the weather.
- clapboard:** a *siding* or *cladding* of beveled boards laid horizontally and overlapping at the top and bottom, applied to the outside of a wood framed building to make it weatherproof; the face of each board is oblique to the wall (also called beveled siding).
- coping:** a protective capping on a wall, parapet or gable, sloped to carry off rain water.
- corbel:** stone or wood projections from a wall or chimney for support or decoration
- corner board:** narrow vertical components used to encase the corner of a wall; most often used on buildings clad in *shiplap* or similar horizontal siding.
- cornice:** projecting horizontal element (to shed water and for decoration) at the top of a building or the top of a storefront, or a similar feature (often in plaster) at the top of a wall of a room.

<b>course:</b>	a single horizontal row of brick, stone or other walling material.	<b>fascia:</b>	a finish element covering the face of <i>eaves</i> and roof projections.
<b>cresting:</b>	a decorative rail, a row of <i>finials</i> or another feature at the top of a building, often along the ridge of a sloped roof.	<b>fenestration:</b>	the pattern/arrangement of windows in an elevation
<b>cupola:</b>	a feature at the top of a roof, usually cylindrical with louvred openings and a dome-shaped roof on top.	<b>finial:</b>	an ornamental projection at the top of a <i>gable</i> , roof or other peaked structure.
<b>dentil:</b>	a small, tooth-like square block, used in a row as a decorative feature in a <i>cornice</i> .	<b>gable:</b>	the triangular portion of a wall beneath the end of a <i>gabled roof</i> .
<b>dormer:</b>	a window that projects from a sloping roof, with a small roof of its own.	<b>gabled roof:</b>	a roof that slopes on two sides.
<b>double-hung window:</b>	a window which operates by means of two sashes that slide vertically past each other.	<b>glazing:</b>	the glass surface of a window opening.
<b>dressed:</b>	a stone cut square on all sides and smoothed on the face.	<b>hipped roof:</b>	a roof that slopes on four sides.
<b>eave:</b>	the projecting edge of a roof.	<b>infill:</b>	construction of a new building within an already built-up neighbourhood.
<b>efflorescence:</b>	an encrustation of soluble salts, commonly white, deposited on the surface of <i>masonry</i> .	<b>lantern:</b>	a windowed superstructure at the top of a roof or dome; a small <i>cupola</i> .
<b>fanlight:</b>	a semicircular window over the opening of a door with radiating bars in the form of an open fan.	<b>lintel:</b>	the horizontal supporting member at the top of a door or window.
		<b>mansard roof:</b>	a roof that has a double slope, with the lower part steeper than the upper one; also called a gambrel roof, especially for barns.
		<b>masonry:</b>	stone, brick, concrete, tile, or any other earthen products used in construction.

- moulding:** a shaped decorative element, usually a horizontal band, that projects slightly from the surface of a wall.
- mullion:** a thin upright member within a window or between adjacent windows.
- parapet:** in a building, a portion of a wall that projects above a roof; in a fortification, a low wall or mound, usually of stone or earth, created to protect soldiers.
- parging:** in masonry construction, a coat of cement mortar on rough *masonry* or basement walls.
- pier:** an upright support *post* of square or rectangular section, usually of *masonry*.
- pilaster:** an upright shallow rectangular upright support *post* set into a wall and used mainly as decoration.
- post:** a generic word for any upright support: a **pier** is a post of square or rectangular section, usually of *masonry*; a **column** is a post of circular section; a steel or iron member used vertically is also called a column; a **pilaster** is a shallow rectangular upright support set into a wall and used mainly as decoration.
- quoins:** stones at the corners of buildings, usually laid so their faces are alternately large and small. Usually in contrasting colour from the rest of the wall.
- rehabilitation:** the action or process of making possible a continuing or compatible contemporary use for a historic place, or of an individual component, through repair, alterations and/or additions, while protecting its heritage value.
- repoint:** the removal of existing mortar from joints and replacement with new mortar.
- restoration:** the action or process of accurately revealing, recovering or representing the state of a historic place, or of an individual component, as it appeared at a particular period
- sash:** in a window, the wood or metal frame that holds the glass.
- shed roof:** a roof with only one slope; also used to describe the roof of a *dormer* window if it has only one slope.
- shingle:** generic term that refers to a number of products whose characteristic is the overlapping of small sheets or plates on a sloped or vertical surface to shed rainwater by gravity.
- shiplap:** a *siding* or *cladding* of horizontally laid boards with notched edges that make an overlapping joint, applied to the outside of a wood framed building, or a stone wall, to make it

- weatherproof; the face of each board is parallel to the plane of the wall (also called drop siding).
- sidelight:** a window beside a door, forming part of the door unit.
- siding:** a facing material, or *cladding*, applied to the outside of a wood-framed building to make it weatherproof, sometimes called weatherboarding: **shiplap** (or drop siding) consists of horizontally laid boards with notched edges that make an overlapping joint; the face of each board is parallel to the plane of the wall; **clapboard** (or bevelled siding) consists of bevelled boards laid horizontally and overlapping at the top and bottom; the face of each board is oblique to the wall; **board-and-batten** siding is composed of vertically applied boards whose joints are covered by narrow strips (battens); shingles may also be used as a siding, as may composite materials such as asphalt, asbestos or synthetic materials, often imitating brick or shingle; metal and vinyl siding are also used.
- sill:** a horizontal member at the bottom of a window, or of a wall (sometimes called a sill plate).
- soffit:** the underside of an *eave*, beam, or other component.
- spalling:** the flaking of brickwork due to frost, chemical action or movement of the building structure.
- stucco:** a cement mixture used for siding, sometimes with pebbles or coloured glass pieces embedded for texture and decoration.
- transom:** a small window over a door or another window, often hinged for opening.
- transom light:** a glazed light above the *transom* bar.
- vergeboard:** a board that hangs from the protecting end of a roof, covering the *gables*, often elaborately carved and ornamented.

The following is a list of recommended reference sources for advice and information regarding heritage preservation, architecture and related topics.

### *Acts*

- Ontario Planning Act, R.S.O. 1990, CHAPTER P.13 (last amendment 2009)  
[http://www.e-laws.gov.on.ca/html/statutes/english/elaws\\_statutes\\_90p13\\_e.htm](http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90p13_e.htm)
- Ontario Heritage Act, R.S.O. 1990, Chapter O.18 (last amendment 2006)  
[http://www.e-laws.gov.on.ca/html/statutes/english/elaws\\_statutes\\_90o18\\_e.htm](http://www.e-laws.gov.on.ca/html/statutes/english/elaws_statutes_90o18_e.htm)

### *Municipal Planning Documents/Reports*

- Commonwealth Historic Resource Management Ltd., Downtown St. Marys Heritage Conservation District Study, Final Report, May 2006.
- *Official Plan of the Town of St. Marys*, October 1987 (consolidation, October 1, 2007).
- Priority Grow Inc. et. al, *St Marys Downtown/Community Economic Revitalization Strategy*, March 17, 2003 (April 11, 2003).

- Town of St. Marys, *Comprehensive Zoning By-law*, BY-LAW No. Z1-1997 (consolidation 2007).
- Town of St. Marys, *Property Standards By-law*, BY-LAW No. 63-2007.
- Town of St. Marys, *Sign By-law*, BY-LAW No. 33-2005.

### *Area History*

- Digitized images of historic St. Marys. St. Marys Public Library and St. Marys Museum with the assistance of the Library Strategic Development Fund, Ministry of Culture, Government of Ontario, 2009.  
<http://images.ourontario.ca/stmarys/>
- L. R. Pfaff, *Historic St. Marys*, 1995.
- St. Marys Argus, St. Marys Journal, St. Marys Journal Argus. From 1857 to current. (Microfilm and index, R. Lorne Eedy Archives, St. Marys Museum.)
- L. W. Wilson and L. R. Pfaff, *Early St. Marys*, 1981 (reprinted 1995).

### *Heritage Conservation*

- Mark Fram, *Well Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation*, 2003.
- Mark Fram and John Weiler, eds., *Continuity and Change: Planning for the Conservation of Man-Made Heritage*, 1984.



- Martin E. Weaver, *Conserving Buildings: A Guide to Techniques and Materials*, 1993.

### *Selected Research*

- Heritage Resource Centre, Upper Doon Village: A Retrospective Look at Kitchener's First Heritage Conservation District, University of Waterloo, May 14, 2008.
- Dave LeBlanc, "A Heritage Designation Turns Some Purple," *Globe and Mail* 10 September 2004, G4.
- Robert Shipley, Report on Research Concerning Property Values of Designated Communities, University of Waterloo, 1998.
- Marcie R. Snyder, "The Role of Heritage Conservation Districts in Achieving Community Improvement," diss., U of Waterloo, 2008.

What's with the Purple Pillars? 14 Jul. 2009.

<http://www.purplepillars.com/>

### *Government Documents/Reports*

- Ministry of Culture, *Getting Started: Heritage Property Tax Relief-A Guide for Municipalities*, 2005.  
<http://www.culture.gov.on.ca/english/heritage/taxguide-e.pdf>
- Ministry of Culture, *Heritage Conservation Districts: A Guide to District Designation Under the Ontario Heritage Act*, 2006.

[http://www.culture.gov.on.ca/english/heritage/Toolkit/HCD\\_English.pdf](http://www.culture.gov.on.ca/english/heritage/Toolkit/HCD_English.pdf)

- Ministry of Culture, *Heritage Resources in the Land Use Planning Process*, 2006.

[http://www.culture.gov.on.ca/english/heritage/Toolkit/Heritage\\_PPS\\_infoSheet.pdf](http://www.culture.gov.on.ca/english/heritage/Toolkit/Heritage_PPS_infoSheet.pdf)

- Ministry of Culture, *Info Sheets*, Spring-Summer 2007.  
[http://www.culture.gov.on.ca/english/heritage/info\\_sheets/info\\_sheets.htm](http://www.culture.gov.on.ca/english/heritage/info_sheets/info_sheets.htm)

-*Eight Guiding Principles in the Conservation of Built Heritage Properties*, Spring 2007.

-*Heritage Conservation Principles for Landuse Planning*, Spring 2007.

-*Investing in Heritage: Municipal Tax Back Grants*, Spring 2007.

-*Listing Cultural Heritage Properties on the Municipal Register*, Spring 2007.

-*Ontario Heritage Act, Part IV: Provincial Powers to Conserve Property of Cultural Heritage Value or Interest of Provincial Significance*, Summer 2007.

-*Why Designate?* Spring 2007.

- Ministry of Culture, *Insurance and Heritage Properties*, August 2006.

[http://www.culture.gov.on.ca/english/heritage/Insurance%20and%20Heritage%20Properties\\_approved\\_aug06%20\(2\).pdf](http://www.culture.gov.on.ca/english/heritage/Insurance%20and%20Heritage%20Properties_approved_aug06%20(2).pdf)

- Ministry of Culture, *Strengthening Ontario's Heritage*, 2005.  
[http://www.culture.gov.on.ca/english/heritage/Ministry\\_Book\\_Eng.pdf](http://www.culture.gov.on.ca/english/heritage/Ministry_Book_Eng.pdf)

National Park Service, U.S. Department of the Interior, *Preservation Briefs*, 13 Jul. 2009.  
<http://www.nps.gov/history/hps/TPS/briefs/presbhom.htm>

- Parks Canada, *Standards and Guidelines for the Conservation of Historic Places in Canada*, 2003.  
<http://www.pc.gc.ca/eng/docs/pc/guide/nldclpc-sgchpc.aspx>

*Organizations*

INTERNATIONAL

- International Council of Monuments and Sites  
<http://www.icomos.org/>

FEDERAL/PROVINCIAL GOVERNMENT

- Canadian Heritage  
<http://www.pch.gc.ca/>
- Ontario Ministry of Culture  
<http://www.culture.gov.on.ca/english/index.html>
- Parks Canada  
<http://www.pc.gc.ca/eng/index.aspx>

NATIONAL ORGANIZATIONS

- Canadian Association of Heritage Professionals.  
<http://www.caphc.ca/>

- Canadian Conservation Institute  
<http://www.cci-icc.gc.ca/index-eng.aspx>
- Canadian Heritage Information Network  
<http://www.chin.gc.ca/>
- The Heritage Canada Foundation  
<http://www.heritagecanada.org/eng/main.html>

PROVINCIAL

- The Architectural Conservancy of Ontario.  
<http://www.arconserv.ca/> (See Preservation Works)
- Community Heritage Ontario.  
<http://www.heritageontario.org/>
- Ontario Architecture Website  
<http://www.ontarioarchitecture.com/>
- Ontario Heritage Connection  
<http://www.ontarioheritageconnection.org/>
- Ontario Heritage Trust  
<http://www.heritagefdn.on.ca/>

ACADEMIC

- Heritage Resources Centre, University of Waterloo  
<http://www.fes.uwaterloo.ca/research/hrc/>



Profile of Heritage Conservation District

*Properties within the Heritage Conservation District  
Summary by Street Address*

**Peel Street North, West Side**

- 1. 42 Peel N. – r
- 2. 38 Peel N. – r
- 3. 34 Peel N. – r
- 4. 28 Peel N. – r/c
- 5. 22 Peel N. – r

**Peel Street South, West Side**

- 6. 20 Peel S. – r
- 7. 24 Peel S. – r
- 8. 46 Peel S. – r
- 9. Garage for 51 Church S. - service

**Church Street North, East Side**

- 10. 41 Church N. – apartment
- 11. 31 Church N. – r/c
- 12. 25 Church N. – c
- 13. 15 Church N. – public building; designated

**Church Street North, West Side**

- 14. 30 Church N. (building to rear) – apartment
- 15. 36 Church N. (Parking garages) – service
- 16. Stone livery stable – off street – service
- 17. 18 Church N. – apartment
- 18. 14 Church N. – c

- 19. 4 Church N. – c

**Church Street South, East Side**

- 20. 11 Church S. – c
- 21. 21 Church S. – c
- 22. 25 Church S. – c
- 23. Lind Park – green space
- 24. 45 Church S. – r
- 25. 51 Church S. – r
- 26. 65 Church S. (Church)

**Church Street South, West Side**

- 27. 22 Church S. (w/additional residence@ rear) – r
- 28. 24 Church S. – r
- 29. 28 Church S. – r
- 30. 34 Church S. (Church)
- 31. 46 Church S. – r
- 32. 56 Church S. – r
- 33. 66 Church S. – apartment/c

**Wellington Street North, East Side**

- 34. 33-35 Wellington N. – r/c
- 35. 27 Wellington N. – r
- 36. 23 Wellington N. – c

Profile of Heritage Conservation District

- 37. 21 Wellington N. – c
- 38. 11 Wellington N. – c

**Wellington Street North, West Side**

- 39. Start of Riverview Walkway – green space
- 40. 34 Wellington N. – c
- 41. 26 Wellington N. – r
- 42. 22 Wellington N. – c

**Wellington Street South, East Side**

- 43. 35 Wellington S. – post office; OPP – public building
- 44. 47 Wellington S. – r/c
- 45. 55 Wellington S. – r
- 46. 59 Wellington S. – r
- 47. 63 Wellington S. – r
- 48. 71 Wellington S. – r

**Wellington Street South, West Side**

- 49. 14-18 Wellington S. – c
- 50. 26 Wellington S. – c
- 51. 32 Wellington S. – c
- 52. 48 Wellington S. – r/c
- 53. 52 Wellington S. – r
- 54. 64 Wellington S. – c
- 55. 72 Wellington S. – r/c

**Water Street North, East Side**

- 56. 25 Water N. – c
- 57. 7 Water N. – c

**Water Street North, West Side**

- 58. 16 Water N. – c
- 59. 12 Water N. – c
- 60. 6 Water N. – c, designated

**Water Street South, East Side**

- 61. 5 Water S. – c
- 62. 9 Water S. – c
- 63. 13 Water S. – c
- 64. 17 Water S. – c
- 65. 19 Water S. – c
- 66. 21 Water S. – c
- 67. 23 Water S. – c
- 68. 27 Water S. – c
- 69. 31 Water S. – c
- 70. 35 Water S. – c
- 71. 47 Water S. – c
- 72. 61 Water S. – r
- 73. 67-69 Water S. – r

**Water Street South, West Side**

- 74. 6 Water S. – c, designated
- 75. 12 Water S. – c, apartment, designated

Profile of Heritage Conservation District

- 76. 26 Water S. – c, designated
- 77. 34 Water S. – c
- 78. 36 Water S. – c
- 79. 48 Water S. – c, designated
- 80. 50 Water S. – c, designated
- 81. 60 Water S. – c
- 82. 68 Water S. – r

**Queen Street East, North Side**

- 83. Riverview Walkway, millrace, Island Park – green space, designated
- 84. 75 Queen E. – c, designated
- 85. 83 Queen E. – c
- 86. 91 Queen E. – c
- 87. 95 Queen E. – c
- 88. 97 Queen E. – c
- 89. 101 Queen E. – c
- 90. 105 Queen S. – c
- 91. 109 Queen E. – c
- 92. 111 Queen E. – c
- 93. 113 Queen E. – c
- 94. 115 Queen E. – c, designated
- 95. 117 Queen E. – c
- 96. 121 Queen E. – c
- 97. 125 Queen E. – c
- 98. 127 Queen E. – c

- 99. 131 Queen E. – c
- 100. 133 Queen E. – c
- 101. 135 Queen E. – c, designated
- 102. 139 Queen E. – c
- 103. 141 Queen E. – c
- 104. 143 Queen E. – c
- 105. 145 Queen E. – c, designated
- 106. 147 Queen E. – c, designated
- 107. 149 Queen E. – c
- 108. 151 Queen E. – c
- 109. 153 Queen E. – c,
- 110. 155 Queen E. – c, designated
- 111. 159 Queen E. – c, designated
- 112. 163 Queen E. – c
- 113. 165 Queen E. – c
- 114. 167 Queen E. – c.
- 115. 175 Queen E. – public building, designated
- 116. Memorial Park – green space
- 117. 201 Queen E. – c

**Queen Street East, South Side**

- Riverview Walkway – green space
- 118. 102 Queen S. – c
- 119. 104 Queen S. – c
- 120. 106 Queen S. – c
- 121. 108 Queen S. – c

Profile of Heritage Conservation District

- 122. 110 Queen S. – c
- 123. 114 Queen S. – c, designated
- 124. 116 Queen S. – c
- 125. 118 Queen S. – c
- 126. 122 Queen S. – c
- 127. 124 Queen S. – c
- 128. 128 Queen S. – c
- 129. 132-134 Queen S. – c
- 130. 136 Queen S. – c
- 131. 140 Queen S. – c
- 132. 142 Queen S. – c, designated
- 133. 144 Queen S. – c
- 134. 150 Queen S. – c, designated
- 135. 152 Queen S. – c
- 136. 154 Queen S. – c
- 137. 158 Queen S. – c
- 138. 162 Queen S. – c
- 139. 166 Queen S. – c
- 140. 172 Queen S. – c
- 141. 174 Queen S. – c
- 142. 176 Queen S. – c
- 143. 182 Queen E. – c
- 144. 190 Queen S. – c
- 145. 198 Queen S. – c
- 146. 202 Queen S. – c

**Jones Street East, North Side**

- Riverview Walkway – green space
- 147. 191 Jones E. – r
- 148. 197 Jones E. – r
- 149. 201 Jones E. – r

**Jones Street East, South Side**

- Riverview Walkway – green space
- 150. 6 Jones E. – c
- 151. 124 Jones E. – c

**Elgin Street East, North Side**

- Riverview Walkway – green space
- 152. 199 Elgin E. – c



### Profile of Heritage Conservation District

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#### *Summary*

The inventory includes 152 properties. These are:

- Commercial – 102
- Residential – 27
- Commercial/residential – 6 (businesses operating out of residences)
- Apartment – 3
- Apartment/commercial – 2
- Public (municipal) – 3
- Church – 2
- Parkland (green space) – 4
- Service building – large, seen from street, two of these are unnumbered – 3

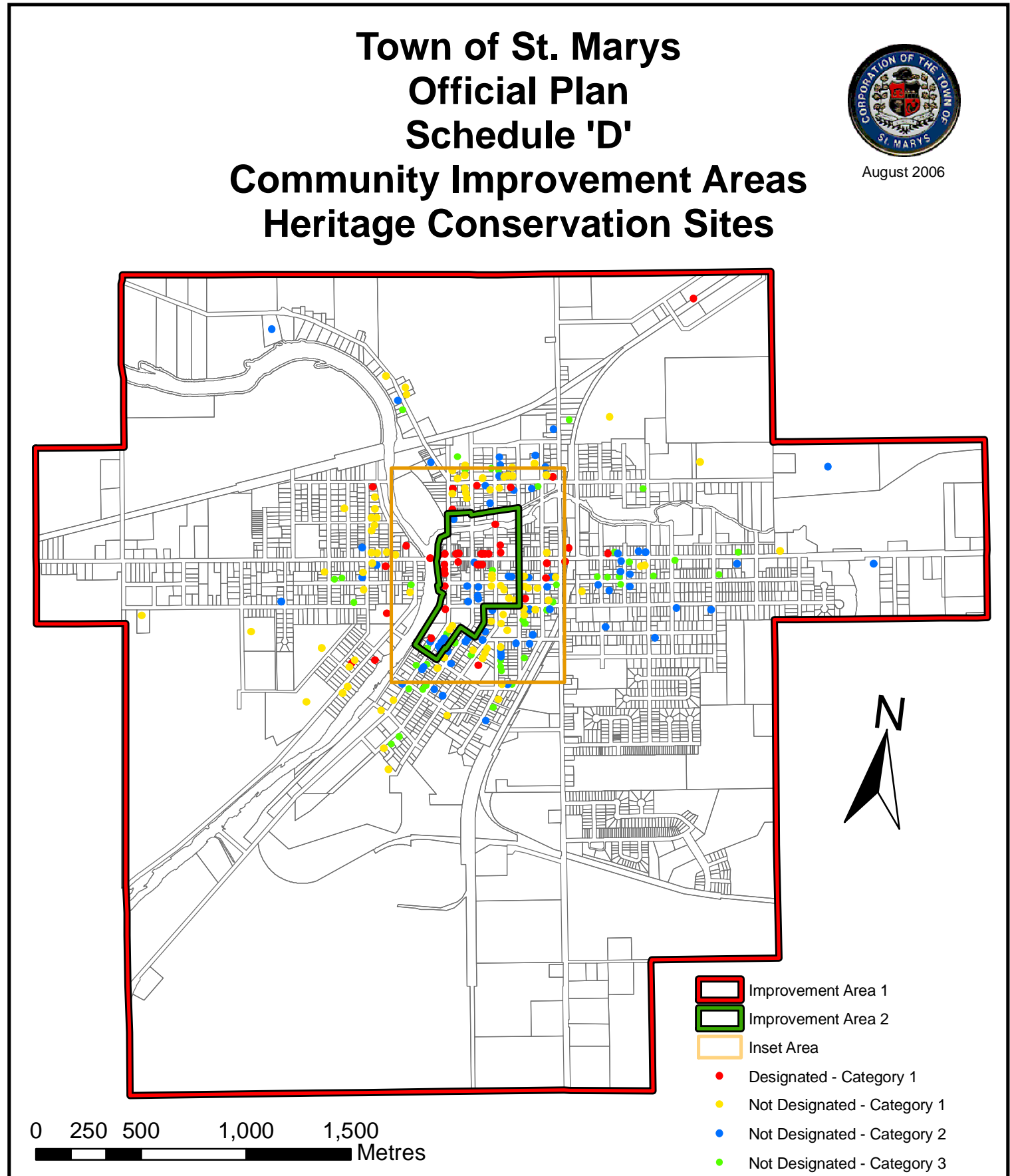
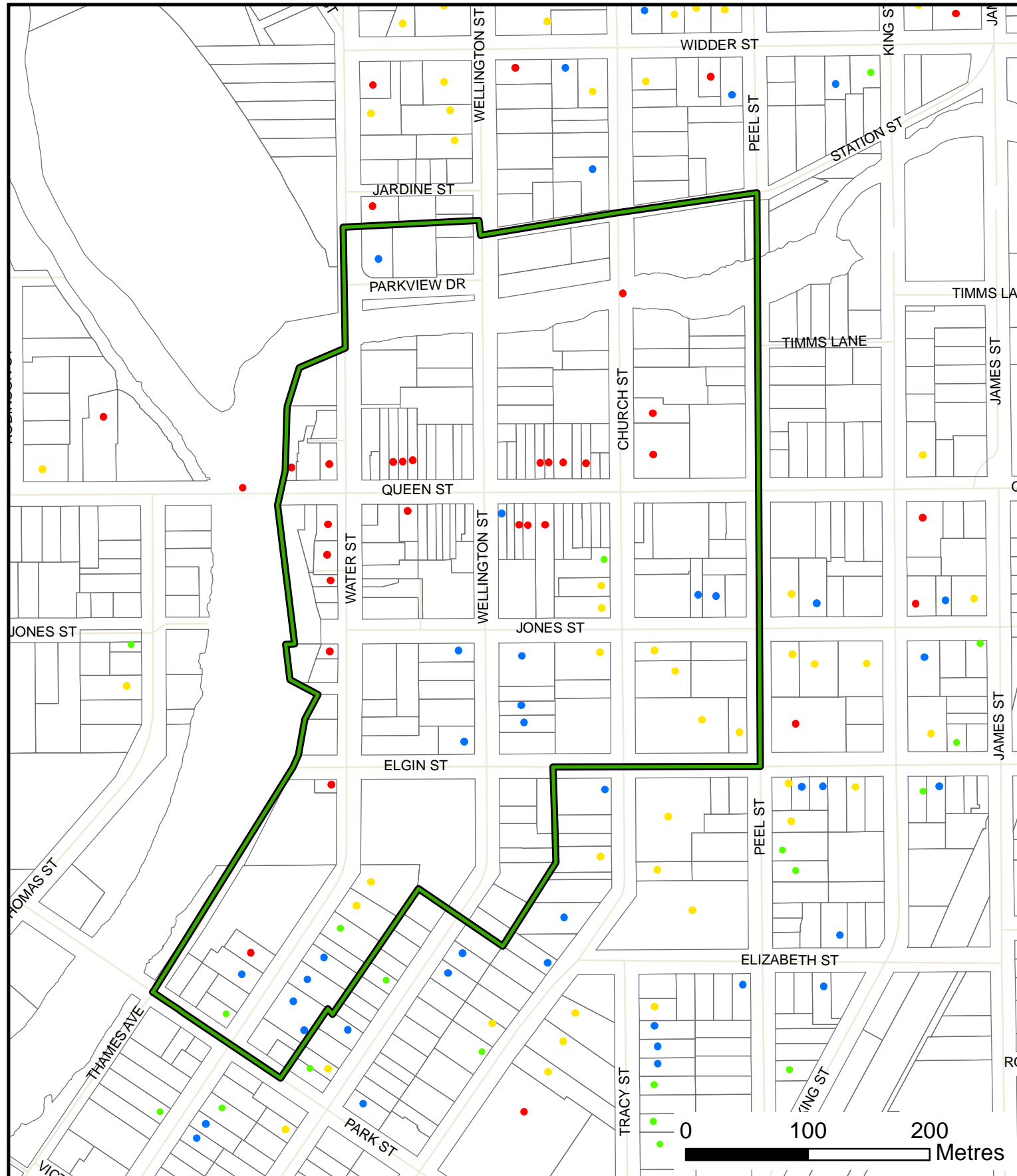
There are 19 designations under Part IV of the Ontario Heritage Act:

- one green space (the Millrace)
- two public buildings (Town Hall and Library)
- 16 commercial properties

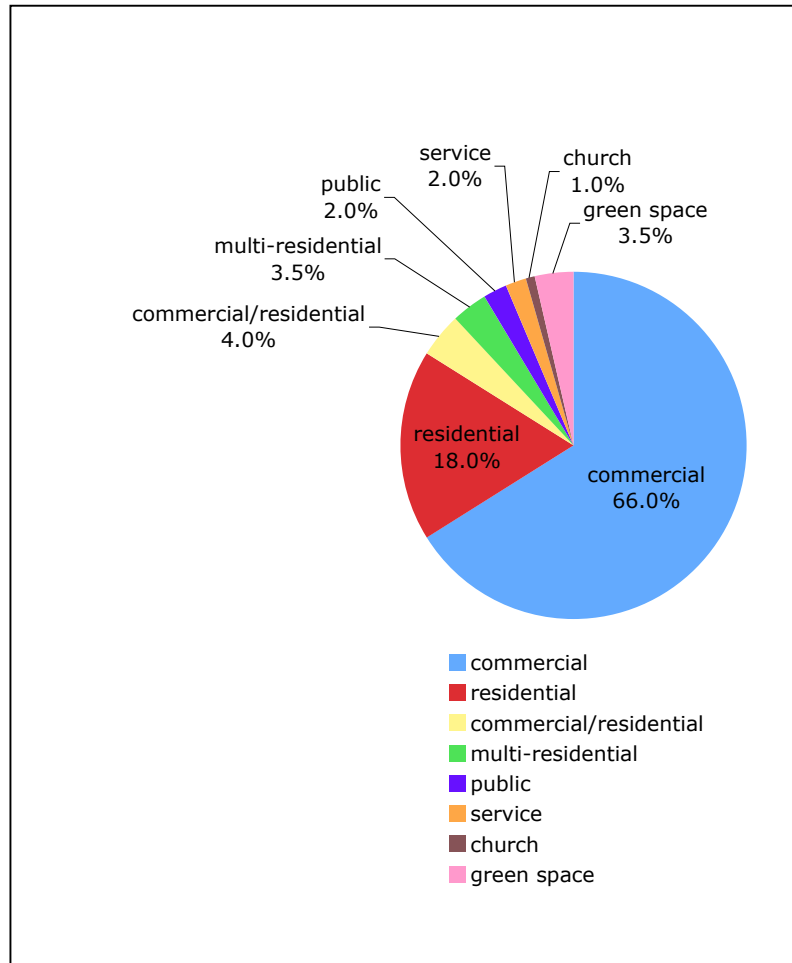
Please note that for the purposes of this inventory, commercial/residential means that a business is operating out of a property that also serves as a residence and that looks like a private house or residence.

Please also note that many of the commercial properties in the downtown core have second and third storeys that may have apartments—some occupied by the owner of the street-level business. However, if the outward appearance of these buildings is commercial, they have been classed as commercial.

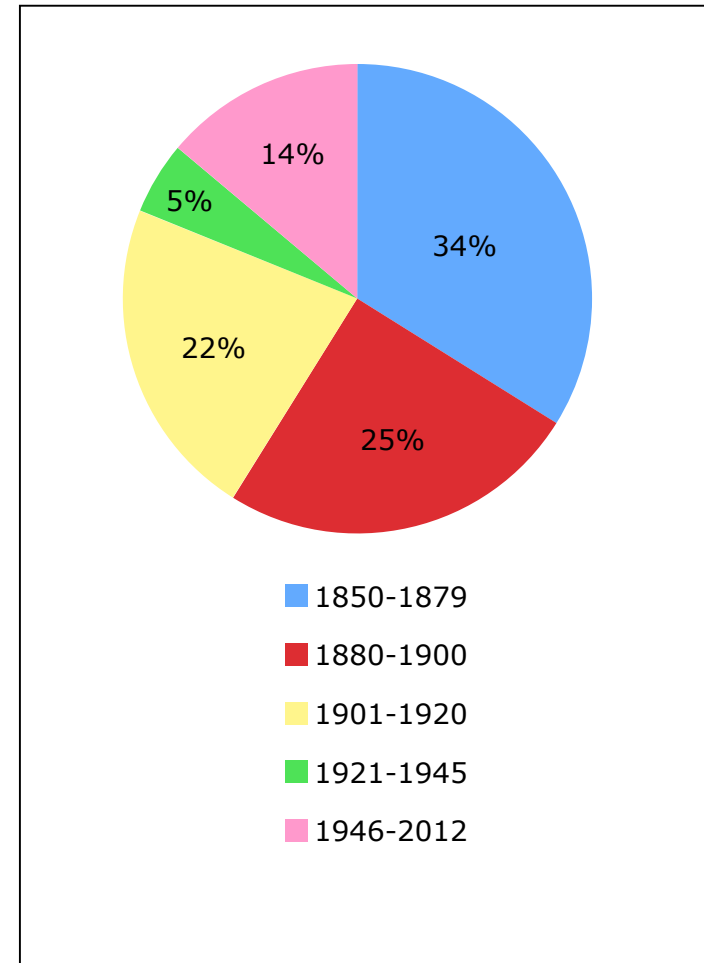
Town of St. Marys Official Plan Schedule 'D', Community  
Improvement Areas, Heritage Conservation Sites (August 2006)



Profile of Heritage Conservation District Inventory by Type and Age



Profile of Heritage Conservation District Inventory by Type/Usage



Profile of Heritage Conservation District Inventory by Age